

**Planning Board Meeting
July 15, 2020 – 7:00 PM
Town Hall**



Meeting Materials

Planning Board
Tuesday, July 15, 2020
7:00 PM – Town Hall

CALL TO ORDER

MINUTES

June 23, 2020

COMMUNICATIONS

OLD BUSINESS

Formal Site Plan Review – Middle Range Pond Restaurant, LLC – 723 Maine Street – Map 6 Lot 52

NEW BUSINESS

Formal Site Plan Review – Taylor Investments, LLC - 1408 Maine Street – Map 15 Lot 21

Formal Site Plan Review – ISM Solar Development, LLC – 1484 Maine Street – Map 15 Lot 18B

Shoreland Zoning Application – Jeanette and William Almy – 23 Nash Lane – Map 34 Lot 16

ANY OTHER BUSINESS

ADJOURNMENT

POLAND PLANNING BOARD
MINUTES OF MEETING
June 23, 2020
Approved on _____, 2020

CALL TO ORDER – Chairperson Porter called the meeting to order at 7:00pm with Members Cheryl Skilling, Stephanie Floyd, George Greenwood, Alternate Member Jimmy Walker, CEO Scott Neal, and Sarah Merrill present. Alternate Member Walker is a voting member for this meeting.

MINUTES – June 23, 2020 – Member Greenwood moved to approve the minutes with changes. Member Floyd seconded the motion. Discussion: None Vote: 5-yes 0-no

COMMUNICATIONS – None

OLD BUSINESS – Formal Site Plan Review – Middle Range Pond Restaurant, LLC – 723 Maine Street – Map 6 Lot 52

On June 23, 2020, the applicant requested that the application be tabled so they could submit an amended application at a later date.

Member Greenwood moved to approve the request to table the application. Member Floyd seconded the motion. Discussion: None Vote: 5- yes 0-no

NEW BUSINESS – Extension Request of the Formal Shoreland Zoning Application – Stephen and Theresa Mello – 24 Upper Range Road – Map 35 Lot 17

Stuart Davis of Davis Land Surveying asked the Board for an extension on their approval of the Mello's project.

Member greenwood moved to approve the extension. Member Floyd seconded the motion. Discussion: None Vote: 5-yes 0-no

Formal Shoreland Zoning Application – David and Ruth Pease – 14 Spruce Drive – Map 36 Lot 19

Ruth and David Pease presented the project to the Board. The Applicant would like to tear down the existing camp, relocate it to the greatest practical extent from the source, expand to the extent allowed, and put a foundation under the new building.

Member Greenwood moved to approve the checklist as complete. Member Floyd seconded the motion. Discussion: None Vote: 5- yes 0-no

Member Greenwood moved to approve the Formal Shoreland Zoning Application with the following conditions: need building height elevations, need to show the trees to be cut, need a replanting plan, need to show the distance from the shoreline, the public hearing is waived, and the site walk is waived. Member Skilling seconded the motion. Discussion: None Vote: 5-yes 0-no

POLAND PLANNING BOARD
MINUTES OF MEETING
June 23, 2020
Approved on _____, 2020

Formal Shoreland Zoning Application – Patrick and Shelley Shrader – 87 Birch Drive – Map 43 Lot 45

Keith Morse of JKL Land Surveying and Patrick Shrader presented the project to the Board. The Applicant would like to add a narrow deck and raise the garage height.

Member Greenwood moved to approve the checklist as complete. Member Floyd seconded the motion. Discussion: None Vote: 5-yes 0-no

Member Greenwood moved to approve the Formal Shoreland Zoning Application with the following conditions: the public hearing is waived, and the site walk is waived. Member Floyd seconded the motion. Discussion: None Vote: 5-yes 0-no

Formal Site Plan Review – Kimball & Sons Logging and Trucking, LLC – 1184 Maine Street – Map 39 Lot 8

Chrissy and Randy Kimball presented the project to the Board. The Applicant would like to make the space a combined office for their real estate and logging businesses.

Member Greenwood moved to approve the checklist as complete. Member Floyd seconded the motion. Discussion: None Vote: 5-yes 0-no

Member Greenwood moved to approve the Formal Site Plan Review with the following conditions: the public hearing is waived, and the site walk is waived. Member Floyd seconded the motion. Discussion: None Vote: 5-yes 0-no

Road Name Application for Caleb Verrill

The Applicant's second choice is now their first choice.

Member Greenwood moved to approve the Applicant's second choice of Over Yonder Way as the road name. Member Floyd seconded the motion. Discussion: None
Vote: 4-yes – 0-no 1-abstained (Member Skilling abstained to avoid any conflict of interest)

ANY OTHER BUSINESS – None

ADJOURN – Member Greenwood moved to adjourn the meeting at 7:55 pm. Member Floyd seconded the motion. Discussion: None Vote: 5-yes 0-no.

Recorded by: Sarah Merrill

**POLAND PLANNING BOARD
MINUTES OF MEETING
June 23, 2020
Approved on _____, 2020**

Planning Board

James Porter, Chairperson

George Greenwood, Member

, Secretary

Stephane Floyd, Vice Chairperson

Cheryl Skilling, Member

James Walker, Alternate Member

Morse Environmental Consulting, LLC

www.morseenvironmental.com
mike@morseenvironmental.com
207-558-0842

June 30, 2020

James Porter, Chairperson
Planning Board
Town of Poland
1231 Maine Street
Poland, Maine 04274

RE: Middle Range Pond Restaurant, LLC- Dock/Recreational Facility Expansion
Application Modifications

Dear Mr. Porter, and Members of the Planning Board:

Please find attached the amended proposed site plan and accompanying application pages for the above-referenced project currently under review by your Board. We respectfully request to have these documents placed into the application record as a replacement for the corresponding pages within the application originally submitted in March, and further for these replacement articles to be considered by the Board in its continued review of the matter.

To briefly summarize the amendments, the applicant has significantly reduced the scope of the proposed dock expansion project by 10 boat slips, or 31%. The applicant originally proposed to increase boat slip capacity by 32 slips, but has reduced the increase to only 22 boat slips. This is the result of the applicant and the Range Ponds Association (Association) reaching a compromise agreement. The applicant has also agreed with the Association to close its boat launch ramp to the general public during July and August, and to place and remove floating signage ("*Headway Speed Only*") provided by the Association within the pond near the docks.

This reduction in project scope is intended to perpetuate good neighborly relations with the Association and its members, and other landowners and lake users. The applicant hopes that this reduction in project scope will be viewed very favorably by their neighbors and good relations will remain intact.

Additionally, I have provided additional information regarding parking on the property with respect to the Ordinance requirements since parking was also briefly discussed at the Board meeting on June 9th. Otherwise, the submittal modifies the "Summary of Proposal" further by eliminating the project phasing as was requested in the original submittal. The project is now proposed as a single project to be constructed sometime during the spring of 2021.

Finally, I will address several other issues that were raised by a few members of the public at the June 9th meeting and public hearing. Several individuals expressed concerns to the Board that increased boat traffic on the lake as a result of this project will affect water quality due to shoreline erosion from boat wakes, and will negatively affect boating safety on the lake through unsafe boat operation by users. Our

response to these issues remains as stated during that meeting. There are important boating operation/safety laws administered and enforced by the State of Maine Department of Inland Fisheries & Wildlife and purported infractions of those laws and regulations should be treated seriously and be reported to State officials by concerned individuals. State of Maine boating laws include a restriction that watercraft operating within 200 feet of the shoreline may not exceed headway speed, a very slow and low wake-generating speed. These regulations and speed restriction allow boat wakes to diffuse their energy to a significant extent prior to reaching the shoreline. Will some amount of shoreline erosion occur over time as a result of ALL boats operating in the lake? Possibly. Is this relevant to the Board's review of the subject application? No. Will boats tied up at a dock slip create a shoreline erosion and water quality problem? No.

To reiterate, neither of these concerns that were raised by the public- boating safety and shoreline erosion due to operation of boats on the lake- are within the Board's jurisdiction to consider in its review of this application. In its review of any application, a municipal planning board reviews application content for compliance with the specific standards within its locally adopted ordinance and nothing further. The Town of Poland Zoning Ordinance does not contain any Site Plan amendment standards explicitly related to boating safety or boat wake erosion and therefore such concerns should be dismissed by the Board.

The Planning Board certainly may consider future amendments to the Ordinance related to these concerns (e.g. limiting horsepower, length of watercraft, watercraft speed, etc) and assign a local enforcement officer to enforce such regulations, but this would be exclusive of its review of this application. To be clear, these concerns clearly do not apply to the application review by the Board at this time. The current proposal simply provides a safe and reasonable location for boaters to store their boats when not in use.

Thank you for your consideration of this matter. Please contact me if you have any questions. I may be reached by telephone, 207-558-0842, or by email at mike@morseenvironmental.com.

Sincerely,



Mike Morse
Morse Environmental Consulting, LLC

Morse Environmental Consulting, LLC

www.morseenvironmental.com
mike@morseenvironmental.com
207-558-0842

MIDDLE RANGE POND RESTAURANT, LLC

Dock Expansion Project

Site Plan Amendment

Prepared by: Mike Morse/ Morse Environmental Consulting, LLC
3/1/2020
(Modified June 30, 2020)

Summary of Proposal:

For many years the property has collectively included a docking facility, private pay-to-use boat launch, and a restaurant (Cyndi's Dockside Restaurant). The site is located adjacent to Middle Range Pond and Maine Street in the Town of Poland. The Town of Poland Planning Board (Board) has previously approved Site Plan amendments for other various changes on the property through the years.

The docking facility currently provides temporary docking slips for 30 watercraft and provides refueling services for watercraft as well. Each year the applicant receives a significant number of requests for docking slips in excess of the current capacity of the docking facility. This minor Site Plan amendment application proposes to expand the existing temporary dock system by constructing a third dock system westerly of the two existing dock systems. This would increase the slip capacity by an additional 22 new boat slips. Full build-out will result in a facility total of 52 boat slips. All docking facilities are presently and will continue to be temporarily/seasonally located in the water.

It is anticipated that the construction/installation of the new dock system will be completed in the Spring of 2021.

Whereas the proposed dock system is temporary, just as the existing docks are, no DEP or Army Corps of Engineers permits are required for the project.

The subject property is zoned by the Town as a Village 1 District, as depicted on the Town of Poland Zoning Map. The property is zoned in this manner to acknowledge the longstanding commercial use of the property and to support further commercial development on the parcel as compared to the surrounding residential zoning district. The docking facility use is considered by the Town as a Recreational Facility Use. The parcel is 2.83 acres.

Proposal Details:

The applicant proposes to expand the docking slip capacity at its existing marina docking facility via the construction of a new dock to accommodate demand. The project proposes the installation of a new 22-slip dock system, "Dock C". The following table summarizes the proposed dock expansion:

	Existing (# of slips)	Proposed (# of slips)
Dock A	10	10
Dock B	20	20
Dock C	n/a	22
TOTAL:	30	52

Submissions:

- A. Copy of deed and Tax Assessor's Information Card- please see attached
- B. Map of the general area (w/in ½ mile of lot)- please see attached
- C. Site plan(s) of subject lot with existing development- please see attached. Note that whereas this project affects dock structures and no other development on the lot, the dimensions relevant to the docks and expansions thereof are included. Other structure dimensions may be omitted, are approximated, or may be referenced in previous permits approved by the Board if further dimensional accuracy of non-relevant structures is required.
- D. Site plan(s) of subject lot with proposed development- please see attached. Please also refer to note in C, above.
- E. Detailed plans of proposed structural development and changes- please see attached.
- F. Statements or drawings of methods of infrastructure:
 - i. Water Supply- potable water is currently supplied by a private drinking water well. The water supply should not be affected by the development of the proposed dock expansions. Any increase in water demand should be minimal.
 - ii. Sewage Disposal- sewage disposal is via a subsurface wastewater disposal system located on the subject lot. Attached is the HHE-200 system design for the property, prepared in 2008. The septic tanks are pumped several times per year and the applicant reports no system failures or problems. The wastewater flow calculations for the restaurant use are estimated to be 868 gallons per day (gpd), whereas the system design flow is 958 gpd. Historically, wastewater generated from the existing dock slip systems has been very incidental and the applicant anticipates this same incidental use of toilet facilities to persist with the proposed dock expansion project. The excess 90 gpd design flow for the system should accommodate any incidental increase in use as a result of the proposed project.
 - iii. Fire protection- not applicable to the proposed dock expansion.
 - iv. Electricity- not applicable. No electrical installation is proposed for this project.
 - v. Solid waste disposal- not applicable. The development on the property is serviced by a solid waste disposal company (Waste Management) through the use of two solid waste receptacles on the property. An increase in the number of dock slips is expected to result in a negligible increase in solid waste generation, if there is any increase at all. Regardless, the current solid waste disposal service will accommodate any increase in solid waste as a result of the proposed project.
- G. Signs- the applicant has agreed to place several floating signs "Headway Speed Only" near the dock system as a courtesy reminder to boaters of an existing State law.
- H. Number of parking spaces- the applicant proposes to utilize existing parking infrastructure on the property. The existing parking areas are constructed with compacted gravel and therefore the parking spaces are not striped/painted. Based on the dimensions of the parking areas and

applying the standard 9' x 18' parking space size (and 20' wide circulation aisles) it is estimated that the existing development supports 75 parking spaces.

Section 508.21, Table 508.21.M, Minimum Parking Standards:

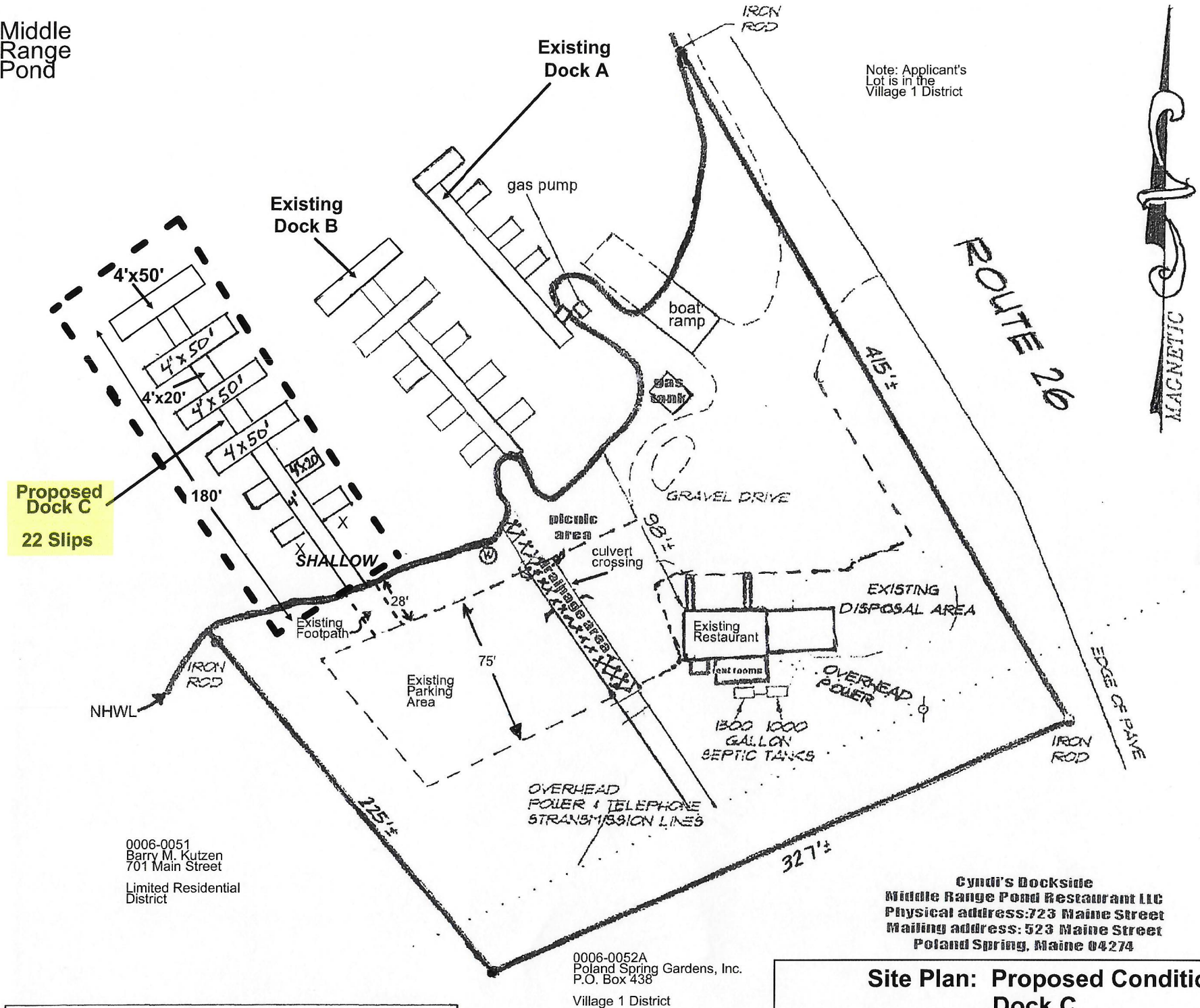
Restaurant- 1 space per 3 seats of maximum seating capacity for restaurant uses. The maximum current seating capacity at the site is 111 seats, which requires a minimum of 37 parking spaces. Commercial Recreation Facility (boat docking slips)- 1 space for each 100 square feet of floor area. Whereas the boat docking slips do not include a building with floor area, technically there are no minimum parking standards associated with boat docking slips. The lack of dock parking requirement in the ordinance is appropriate and common sense due to the fact that dock slips are not intended to be a place where people linger, as people would otherwise at a restaurant, church, theater, auditoria, or public assembly space. Regardless, the applicant generously proposes 1 parking space for every two docking slip spaces. This would require a minimum of 26 parking spaces for the proposed docking facility expansion.

Based on the above, the number of parking spaces would be 63 spaces. The existing development includes 75 parking spaces, which provides a balance of 12 spaces in excess of the allocated number of spaces proposed for this project, and 38 spaces in excess of the Ordinance requirements for the restaurant. As such, no parking area expansion is proposed or required for this project.

Even applying the 1 space/100 square feet of floor area to the docks, which is rather absurd given the reason stated above, the 3,828 square feet of dock area would yield 38 parking spaces. This, combined with the required 37 restaurant parking spaces results in 75 spaces, which is the current number on the property and no additional parking is warranted.

- I. Phosphorus loading calculation- the proposed project does not increase or otherwise alter the existing developed areas on the property. As such, the applicant respectfully requests that the Planning Board waive this requirement (please see Request for Waivers, below).
- J. Anticipated date for start of construction- April or May 2021
- K. Anticipated date for completion of construction- Phase 1: June 2021
- L. Standard Submission Checklist- please see attached

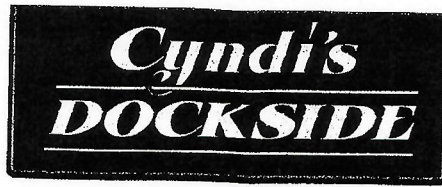
Middle
Range
Pond



Scale: Not to scale (measurements as depicted on plan)

**Site Plan: Proposed Conditions
Dock C**

Morse Environmental Consulting, LLC 2/19/2020 (modified 6/29/2020)



June 22, 2020

Planning Board
Town of Poland, Maine
1231 Maine Street
Poland, ME 04274

BY HAND DELIVERY

Re: Application for Site Plan Amendment / Dock Expansion Project by
Middle Range Pond Restaurant, LLC (723 Maine Street-Map 6 Lot 52)

To the Members of the Planning Board of the Town of Poland, Maine:

Please accept this letter on behalf of Middle Range Pond Restaurant, LLC d/b/a Cyndi's Dockside (the "Restaurant") as a revision to its application for a Site Plan amendment which is currently pending before the Planning Board:

After discussions with the Range Ponds Association (the "Association") concerning the application, the Restaurant has agreed to the following changes and requests that the Planning Board include these as conditions to an approval of the Site Plan amendment.

1. Up to 22 additional slips, for a total of 52 slips after the expansion is complete, shall be permitted. The new slips will be located on new Dock C. The Restaurant shall prepare and submit a revised Proposed Conditions drawing which shows new Dock C as proposed, and removes the additional slips previously shown on Docks A and B.
2. The Restaurant will close the boat ramp to the general public (which would not include people who lease slips or guests of the Poland Spring Resort) during the months of July and August.
3. The Restaurant will put up signage about headway speed only in the area of the docks, including a float similar to the one used in the channel between Middle and Upper Range Ponds. The Association will provide the float and the Restaurant will put it in and take it out spring and fall each year.

We have made this request conditioned upon the Association's agreement to withdraw its opposition to the application. We appreciate your consideration of the application as revised.

Sincerely,

MIDDLE RANGE POND RESTAURANT, LLC

A handwritten signature in black ink that reads "Cynthia Robbins".

Cynthia Robbins, Member

July 1, 2020

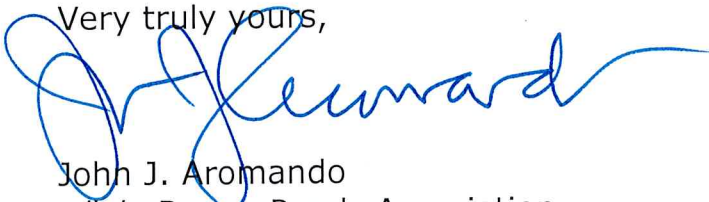
Planning Board for the Town of Poland, Maine
1231 Maine Street
Poland ME 04274

RE: APPLICATION FOR SITE PLAN AMENDMENT FOR DOCK EXPANSION
PROJECT BY MIDDLE RANGE POND RESTAURANT, LLC

To the Members of the Planning Board of the Town of Poland, Maine:

Contingent on the Board's approval of the Amended Site Plan application submitted by Middle Range Pond Restaurant, LLC on June 30, 2020, including the three specific items to be included as conditions to an approval of the Site Plan amendment as noted in the letter from the applicant dated June 22, 2020, the Range Ponds Association withdraws its objection to the application filed with the Planning Board, dated June 19, 2020.

Very truly yours,

A handwritten signature in blue ink, appearing to read "J. Aromando", with a large, stylized initial "J" and a long horizontal flourish extending to the right.

John J. Aromando
o/b/o Range Ponds Association



Town of Poland, Maine Planning Board

Formal Site Plan Review

Instructions:

1. Read every part of this document. Failure to follow requirements can and will delay the Planning Board's decisions.
2. Fill out the forms on pages 1 through 6. Obtain or get copies of information as required by the application on these pages.
3. Use the "Submission Checklist" on pages 5 and 6 to make sure submission requirements are met.
 - a. The checklist is a summary of the standard requirements in Section 509.8 of the Comprehensive Land Use Code.
 - i. The actual Code wording may be found on-line at www.polandtownoffice.org. Go to the "Code Enforcement" page, select "Comprehensive Land Use Code" at that bottom of the page. Hardcopies are available for purchase at the town office.
 - b. Make sure all waiver requests have a written statement for each request. Check with the Code Enforcement Office to make sure items stated as "On File" are indeed in the town office.
 - c. Some requirements may need only a one paragraph or one sentence statement. Make sure all requests are answered.
4. **NUMBER OF COPIES OF THE APPLICATION AND DUE DATE**
 - a. A total of at least ten (10) copies of the plans and one PDF copy (on either cd or usb) are needed. Be sure to make a copy for yourself.
 - b. The Code Enforcement Office must receive the original application, an additional 9 copies, and a digital PDF copy (either cd or usb) with appropriate fees by 1:00 p.m. eleven (11) days before the stated meeting to be put on the upcoming agenda.
 - c. If review for missing information by the Code Enforcement Officer is desired, a copy must be submitted to the CEO at least 14 days prior to the meeting.
 - d. The application must be on file for public review for at least 10 days prior to the meeting. Applications received after the Agenda is posted may not be reviewed by the Board for your scheduled meeting date.
5. Check with this office to make sure that all departments have responded to your application prior to the meeting.

PROJECT NAME: Taylor Investments, LLC

Date of Planning Board Review: _____ / _____ / _____ Application # _____

LOT INFORMATION:

Tax Assessor's Map # 15 Lot # 21 Sub lot # _____

Watershed: Hogan Pond

Property's Road Location: 1408 Maine Street

Lot Size: 2.52 Acres Acres or Sq. Ft. Road Frontage: 200 Ft.

Year lot created: 1965 est. (If unknown, give best estimate with "est." after date)

Zoning District(s): DT Flood Zone: No Aquifer Overlay: Overlay 1

Current use of lot: Commercial

LAND OWNER(S):

Name(s) Taylor Investments, LLC

Company Taylor Investments, LLC

Mail Address: 359 Johnson Hill Road Main Phone 207-650-7752

Town/State/Zip Poland, ME 04274

Alternate Phone: _____

APPLICANT or CONTACT PERSON:Applicant is: ☒ Landowner ☐ Contractor ☐ Renter ☐ Buyer

If landowner, write "Same" below and continue to next block below. If not the landowner, submit a letter of permission to construct on or use the land, or copy of a contract to buy from the landowner, along with the following information:

Name(s): Glenn Boluc

Company Taylor Investments, LLC

Mail Address: 359 Johnson Hill Road Main Phone: 207-650-7752 - -

Town/State/Zip Poland, ME 04274 Alternate Phone: 207-998-2072 -

THIS APPLICATION IS FOR: (Check all that apply)☒ Commercial☐ Industrial☐ Institutional☐ Governmental☐ Open Space☐ New Development☐ Change In Use☐ Expansion of Use☐ Expansion of Structure(s)☐ Resumption of Use**EXISTING LOT CONDITIONS:**

(This page is to describe what is on your lot currently)

1. **General**

Does this lot have any development? (If No, go to "Proposed Development")

☒ Yes☐ No

a. Is there an existing Well

☐ Yes☒ No

b. Is there an existing Septic System

☐ Yes☒ No

i) If yes, submit a copy of a septic permit, or drawing(s) showing size & location.

c. Is there an existing Road Entry

☒ Yes☐ No

i) If yes, will there be any changes/modifications?

☒ Yes☐ No

ii) (If no, submit copy of appropriate road entry application if entrance is onto a state or town road.)

d. Any structures to be removed

☐ Yes☒ No

i) If yes, submit information about the structure to be removed and how any debris will be disposed of.

2. **Existing Land Development & Improvements NOT Including Buildings**

a. Size of lawns

0 Sq. Ft.

or Acres

b. Size of fields

0 Sq. Ft.

or Acres

c. Size of driveways/roads

0 Sq. Ft.

d. Size of other non-vegetated areas

51131 Sq. Ft.

e. Wetlands already filled

0 Sq. Ft.

3. **Existing Main Structure**

a. Ground Footprint

Sq. Ft.

b. Total Gross Floor Space (exterior dimensions of all floors)

Sq. Ft.

c. Road Frontage Setback

Ft.

- d. Side Setback _____ Ft.
e. Rear Setback _____ Ft.
f. Distance to Great Pond _____ Not applicable (over 250') _____ Ft.
g. Distance to Stream _____ Not applicable (over 250') _____ Ft.
h. Distance to Wetlands _____ Not applicable (over 250') _____ Ft.
4. **Foundation Type** _____ Full Basement _____ Frost Walls _____ Slab _____ Piers
5. **Existing Accessory Structure(s)**
- | | | | |
|-------------------------------|---|----------------------------|---------|
| a. Total Number of Structures | | 1 (Temporary) | |
| b. Total Ground Footprint | | 292 | Sq. Ft. |
| c. Total Floor Space | | | Sq. Ft. |
| d. Closest Road Setback | | 32 | Ft. |
| e. Closest Side Setback | | 16 | Ft. |
| f. Closest Rear Setback | | 250 | Ft. |
| g. Distance to Great Pond | X | Not applicable (over 250') | Ft. |
| h. Distance to Streams | X | Not applicable (over 250') | Ft. |
| i. Distance to Wetlands | X | Not applicable (over 250') | Ft. |
6. **Total Existing Impervious Surfaces** _____ 51423 _____ Sq. Ft.
- a. $Add\ 2c + 2d + 3a + 5b$

PROPOSED DEVELOPMENT:

- | | | |
|--|------|---------|
| 1. Wetlands to be impacted | 0 | Sq. Ft. |
| 2. New footprint(s) and developed area(s): | | |
| a. Changes in building footprint(s) | 3000 | Sq. Ft. |
| b. Changes in driveway/roadway | 0 | Sq. Ft. |
| c. Changes in patios, walkways, etc. | 0 | Sq. Ft. |
| d. TOTAL (2a+2b+2c) | 3000 | Sq. Ft. |
| 3. Percentage of lot covered by impervious surfaces: | 46.8 | % |
- a. *(Equals [areas on line 6 page 2 + line 2d above] / [Total lot area measured in sq. ft.] * 100%)*

SUBMISSIONS:

1. **Attach drawings and/or statements describing the following items, if applicable:**
- Provide a copy of deed and Tax Assessor's information card.
 - Provide a map of the general area showing land features within at least ½ mile of this lot.
 - Provide site plan(s) of your lot with existing development and its dimensions shown.
 - Provide site plan(s) of your lot with proposed development and its dimensions shown.
 - (May be combined on existing development drawing.)*
 - Provide detailed plans of proposed structural development and changes.
 - Provide statements or drawings of methods of infrastructure:
 - Water supply
 - Sewage disposal
 - Fire protection
 - Electricity
 - Solid waste disposal
 - Type, size, and location of signs.
 - Number of parking spaces.
 - Provide phosphorus loading calculation if in a great pond watershed area.
 - Anticipated date for start of construction.
 - Anticipated date for completion of construction.
 - Standard submissions requirements shall follow Section 509.8 of the Comprehensive Land Use Code. Copies of the Code are available for viewing at the Town Office and Library. Copies are available for purchase (\$25.00) in the Code Enforcement Office.
 - (Use checklist starting on page 6 for summary of usual requirements.)*
 - Other requirements unique to your project added by the Planning Board.

2. **List all state and federal approvals, permits, and licenses required, if any, for the project:**

This includes but is not limited to the following:

1. State highway entrance permit.
2. Soil disturbances involving more than one acre.
3. Impact on more than 4,300 square feet of any type wetland.
4. Soil disturbances within 100 feet of lakes, rivers or streams.
5. Activity within 75 feet, over the water, or in the water of lakes, rivers, or streams.
6. Timber harvesting.
7. Flood zones.
8. Discharges and emissions

DISCLOSURE: (READ BEFORE SIGNING)

1. I hereby acknowledge that I have read this application and pertinent sections of the ordinances, and state that the information in this document is to the best of my knowledge true and accurate. I agree to comply with all the Town of Poland's ordinances and the State of Maine's statutes regulating the activities sought in this application as well as any permit(s) approved for this application.
2. I understand that all construction of structures shall conform to or exceed the minimum requirements of the Maine Uniform Building and Energy Code, and the NFPA-101 Life Safety Code, 2009
3. I understand that any approval is valid for only the use(s) as specified in this application. The permitting authority must approve any change(s) made to the use(s) sought in the application. Any approval issued for this application is approved on the basis of truthful information provided by the applicant(s), and as allowed by the ordinances of the town.
4. I understand that it is my responsibility to assure that the lot description herein accurately describes its ownership, its boundary lines, and the setback measurements from the legal boundary lines.
5. I understand that I have the burden of proof as to the legal right to use the property, and that approval of this application in no way relieves me of this burden. Any approval issued does not constitute a resolution in favor of me or the landowner in any matters regarding the property boundaries, ownership, or similar titles.
6. I understand that all necessary **Building and Use Permits** shall be secured from the Code Enforcement Office after the Planning Board grants approval of this application.
7. I understand that a **Certificate of Occupancy or Compliance** shall be required prior to the start of any use or occupancy associated with this application unless a signed written waiver is issued with the permit. Fines and penalties may be issued if use or occupancy is started prior to the issuance of the certificate.
8. I understand that the **approval becomes invalid if** construction or use has not commenced within twelve (12) months of the Planning Board's approval date, construction is suspended for more than six (6) months and no notice for just cause is submitted prior to the end of the six (6) months, or it is found that false statements have been furnished in this application.
9. I understand that if I fail to comply with the aforementioned statements, a "STOP WORK" order may be issued for which I will immediately halt any construction and/or use(s) that are approved for this application. This failure may also require that I return the property to its natural state or as closely thereto before the use(s) was/were approved.
10. I understand that failure to follow these requirements will lead to Violation Notices and Citations that have fines and penalties. This in turn can lead to civil proceedings in District and/or Superior Court.
11. I understand that **all state and federal permits** are my responsibility as the applicant and/or owner and will secure the same prior to the start of the project.

X 

Applicant's Signature(s)

6-15-20

Date

Submission CHECKLIST

The following list is a short summary of the information required in Chapter 509.8 of the Comprehensive Land Use Code for the Town of Poland, Maine. Please checkmark or place an "X" in the left-hand columns if the information has been provided, if you request a waiver from submitting the information, or you believe the information is not applicable to your application. If a waiver(s) is requested, or the information is not applicable, a written explanation is required. Columns on the right are for the Planning Board's use.

For Applicant Use				For Planning Board Use			
Provided	Waiver Request	Not Applicable	Section 509.8.A Submission requirements	Received	On File	Waived	Not Applicable
X			1. Site Plan Drawings				
X			2. Signed copy of application				
X			3.a. Name & address of owner				
X			Name of development				
X			Name & address of abutters within 500' of lot for development				
X			Map of general location				
X			Show all contiguous properties				
X			Names, Map, & lot #'s on drawings				
X			Copy of deeds, agreements				
X			Engineer/ designer of plans				
X			Existing Conditions (Site Plan)				
X			Zoning Districts on and/or abutting project's lot shown				
X			Bearings & Distances shown on drawings				
X			Location of utilities, culverts, drains				
X			Location, name of existing r/w				
X			Location, dimensions of existing structures				
X			Location, dimensions of existing roads, walks, parking, loading, etc.				
X			Location of intersection within 200'				
X			Location of open drains, wetlands, wildlife areas, historic sites, etc.				
X			Direction of surface drainage				
X			100-yr. Floodplain				
X			Signs				
X			Easement, covenants, restrictions				
X			Proposed Development (Site Plan)				
X			Location & dimensions of all new structures. New development delineated from existing development				
X			Setback dimensions shown & met				
X			Exterior lighting (Will meet full cutoff requirements)				
		X	Incineration devices				
		X	Noise of machinery and operations				
		X	Type of odors generated				
X			Septic system and other soils reports				
X			Water supply				
		X	Raw & finished materials stored outside				
X			Contours shown at PB specified intervals				
X			Curbs, sidewalks, drives, fences, retaining walls, parking, etc.				
	X		Landscaping plan				
X			Easements, r/w, legal restrictions				
X			Abutters' property lines, names				
	X		TRAFFIC DATA				

For Applicant Use				For Planning Board Use			
Provided	Waiver Request	Not Applicable	Section 509.8.A Submission requirements	Received	On File	Waived	Not Applicable
	X		Peak hour traffic				
	X		Traffic counts				
	X		Traffic accident data				
	X		Road capacities				
	X		Traffic signs, signals				
	X		STORMWATER & EROSION				
	X		Method for handling stormwater shown				
	X		Flow direction				
	x		Catch basins, dry wells, ditches, etc.				
	x		Engineering Analysis of stormwater				
	x		Erosion control measures				
	x		Hydrologist groundwater impact				
	x		Utility plans for all utilities				
	x		Cross-section profile of roads, walks				
	x		Construction drawings of roads, utilities				
	X		Cost analysis of project and financial capability demonstrated				
	X		Phosphorus control plan if in watershed of a great pond				
	X		Submission of waiver requests				
	x		Copies of state, federal applications, permits, &/or licenses required for this project.				
	X		Condition A.				
	x		Condition B.				
	x		Condition C.				
	x		Condition D.				
	x		Condition E.				

This application was first looked at by the Planning Board on ___ / ___ / ___ but does not create vested rights in the initiation of the review process.

By vote of the Board this application requires an on-site inspection: _____ Yes _____ No

If yes, an onsite inspection is scheduled for ___ / ___ / ___ at ___ : ___ ___ AM ___ PM

By vote of the Board this application requires a public hearing: _____ Yes _____ No

If yes, public hearing is scheduled for ___ / ___ / ___ at ___ : ___ ___ AM ___ PM

Conditions of Approval for Formal Site Review: _____

Planning Board Chair

___ / ___ / ___
Date

Site Review and Shoreland Zoning Review Fees:

<u>Type of fee</u>	<u>Fee</u>	<u>Units or Comments</u>
Application – sketch plans, Rough design	\$75.00	Each application (no other fees)
Application – formal	\$150.00	Each application + fees below
Notification of Abutters	\$0.75 per	All abutters within 500 ft. of the property must be notified.
Approval extension, Planning Board Approval only	\$50.00	One extension only (no other fees)
Escrow, minimum amount	\$700.00	When required by Planning Board
Extension of approval	\$100.00	Before approval expires
Auto graveyards, recycle business	\$5.00	Per vehicle storage slot (parking space)
Junkyard, Storage Lots	\$1.50	Per ft of outside storage
Residential Towers	\$20.00 + \$5.00 per \$1,000.00	Based on Cost of Work
Commercial Towers	\$20.00 + \$10.00 per \$1,000.00	Based on Cost of Work
Notifications	\$.75	Each Notification, First Class Mail sent by Town

1. Building and Structures may include up to five times the footprint area of the building for grounds improvements, exclusive of the building footprint, as part of the building review fee.

2. Building and Grounds Improvement Fees. The sum of these two fees may be limited to \$2,500.00 per application at the discretion of the Planning Board. (Junkyards, auto graveyards, recycling business, and towers excluded.

3. Reduced Fees: The Planning Board may, upon application therefore, allow a reduced total site review fees to \$50.00 in any case which it determines that the work for which the permit is sought will be performed within the Shoreland Zone. The project shall be intended solely for the purpose of protecting a Great Pond, Stream, River, or other Natural Resources through the implementation of Conservation, Best Management Practices, or other environmental safeguards. Also, the project shall not result in the enlargement of any building or structure or an intensification of the existing use of the property.

4. Review Escrow Funds may be used by the Town to pay for professional reviews an advice requested by the Planning Board or Code Enforcement Officer related to the applicant's proposed development. Review escrow funds deposited by the applicant not spent during the course of the Town's review shall be returned to the developer within sixty days after the Planning Board's decision on the application is final. If Professional review and advice fees exceed the amount deposited, the developer shall pay the amount outstanding before final approval or any permit is granted.

Town of Poland, Maine
PLANNING BOARD AGENDA REQUEST

Date of meeting you are requesting to be scheduled for: _____/_____/_____ Meetings are normally
conducted from 7:00 to 10:00 PM in the Municipal Conference Room at the Town Office
Map 15 Lot 21 Sub-lot _____

Applicant's Name: Taylor Investments, LLC
Mailing Address: 359 Johnson Hill Road
Town, State, Zip: Poland, ME 04274

Home Phone: 207-650-7752 Hours: _____
Work Phone: 207-998-2072 Hours: _____

Type of application: Sketch Plan ☒ Site Review ☐ Shoreland ☐ Subdivision ☐ Informational
Road location for project: 1408 Maine Street
Zoning: DT Lake Watershed: Hogan Pond Nature of
business to be discussed (*Brief description*): Site review of 3000 sq. ft. garage to be build on existing gravel area

IMPORTANT - READ CAREFULLY:

This Office must receive the original application, plus nine (9) copies, a digital PDF copy (on either cd or usb), and appropriate fees by Friday at 1:00 p.m., eleven (11) days before the stated meeting to be put on the upcoming agenda.

- New business is scheduled on the agenda in the order this office receives this form.
- If you want your application reviewed for contents prior to the meeting, it must be in this office 14 days before the meeting.
- Should the Board choose to adjourn before all business is addressed, all remaining business will be tabled until the next available meeting.
- Unfinished business is conducted before new business is addressed.

Applicant's Signature: _____ Date: _____/_____/_____

OFFICE USE ONLY:

Request Taken By: _____ Date: _____/_____/_____ Time: _____:_____ a.m. p.m.

SUBMISSIONS

Start of construction: Estimated October 1st 2020

End of construction: Winter 2020

Utilities:

Sewer: On site subsurface disposal HHE 200 provided

Water: Public

Waivers requested for:

1. Landscaping plan: The only change to the site will be the addition of a 3000 sq. ft. building on an existing gravel area
2. Traffic data: use of site will not change. Existing entrance will continue to be used.
3. Stormwater & Erosion: The only change to the site will be the addition of a 3000 sq. ft. building on an existing gravel area. Total Impervious area as well as site grading will remain the same.

Not applicable (site use remains the same):

1. Incineration devices
2. Noise of machinery and operations
3. Types of odors generated
4. Raw and unfinished materials stored on site



Property Card: 1408 MAINE ST. Poland, ME



Parcel ID: 0015-0021
Trio Account #: 1833

Owner: TAYLOR INVESTMENTS, LLC
Co-Owner:
Mailing Address: 359 JOHNSON HILL RD
POLAND, ME 04274

Valuation	Building Sketch
Card Number: 1 Acreage: 2.93 Land Value: \$37,730 Building Value: \$3,810 Total Value: \$3,810 Taxes: \$590	NO SKETCH AVAILABLE
Building Information	
Year Built: Remodded: Living Area (sqft): Basement: Finished Basement: Number of Rooms: Number of Bedrooms: Number of Full Baths: Number of Half Baths:	Stories: Exterior Walls: Roofing Materials: Foundation: Insulation: Fireplace: Heating: A/C: Attic:

NOT
A N
O F MAINE SHORT FORM WARRANTY DEED L
C O P Y

MECHANIC FALLS RAILROAD WAREHOUSE, LLC, a dissolved Maine limited liability company, with a place of business in Poland, County of Androscoggin, State of Maine, for consideration paid, grants to **TAYLOR INVESTMENTS, LLC**, a Maine limited liability company, with a mailing address of 359 Johnson Hill Road, Poland, Maine 04274, with **WARRANTY COVENANTS**, a certain lot or parcel of land, with any buildings thereon, situated in Poland, County of Androscoggin, and State of Maine, being further described in the attached Exhibit A.

The premises are conveyed subject to any easements and restrictions of record, and this deed includes all rights, easements, privileges and appurtenances belonging to the premises hereinabove described.

This deed is given in connection with winding up the affairs of Mechanic Falls Railroad Warehouse, LLC.

IN WITNESS WHEREOF, Mechanic Falls Railroad Warehouse, LLC has caused this instrument to be executed in its corporate name and on its behalf by Ralph J. Sawyer and Thomas H. Learned, in their capacities as Sole Members, thereunto duly authorized, this 25TH day of January, 2017.

MECHANIC FALLS RAILROAD
WAREHOUSE, LLC

Shawn Dilla
Witness

By: Ralph J. Sawyer
Printed Name: Ralph J. Sawyer
Capacity: Member

Shawn Dilla
Witness

By: Thomas H. Learned
Printed Name: Thomas H. Learned
Capacity: Member

STATE OF MAINE
COUNTY OF Androscoggin SS.

Then personally appeared the above named Ralph J. Sawyer and Thomas H. Learned, in their capacities as Members of Mechanic Falls Railroad Warehouse, LLC, known to me, this 25TH day of January, 2017 and acknowledged before me the foregoing instrument to be their free act and deed in their said capacities and the free act and deed of Mechanic Falls Railroad Warehouse, LLC.

Lynn M. Hamper
Notary Public/Attorney at Law
Name: _____
My commission expires: _____

Lynn M. Hamper
Notary Public, State of Maine
My Commission Expires September 28, 2022

SEAL

MAINE REAL ESTATE
TRANSFER TAX PAID

PARCEL 1

NOT EXHIBIT A NOT

AN AN

OFFICIAL OFFICIAL

A certain lot or parcel of land, with any buildings thereon, situated in Poland, County of Androscoggin,
State of Maine, bounded and described as follows:

North by land of Burton Page; East by land of Lucy Marshall; South by land of Burton Page; West by State Highway Route 26

OFFICIAL COPY OFFICIAL COPY

Said property may be more particularly described as follows:

Beginning on the easterly line of the Poland Spring Road, called Route 26, at the southeasterly corner of land deeded by Clarence Roy Leland to Cassie M. Prescott, and recorded in the Androscoggin Registry of Deeds, Book 511, Page 253; thence at right angles to said highway, northeasterly, by line of said Prescott land one hundred feet to said Prescott's most easterly corner; thence at right angles southeasterly, by land formerly of one Herrick, one hundred feet to a stake set in the ground; thence at right angles southwesterly, one hundred feet to said highway; thence northerly by said highway to the point of beginning, being the southerly half of the premises conveyed to Clarence Roy Leland by Vivian B. Herrick by deed of warranty recorded in said Registry, Book 467, Page 253.

Also one other lot or parcel of land situated on the easterly side of said highway and adjoining the last described lot, viz: Beginning on said highway at the southerly corner of lot last described; thence along said Route 26, southerly one hundred feet to land formerly of Lawrence R. Tripp; thence northeasterly at right angles along said Tripp land, one hundred feet to a stake set in the ground; thence northwesterly at right angles 100 feet to the most easterly corner of the lot first described; thence, southwesterly at right angles one hundred feet by line of the lot first described to the point of beginning.

These two lots were conveyed with a right of way over the Herrick land to a spring or well, and the right to take water for household use from the same.

Being the same premises as conveyed to Mechanic Falls Railroad Warehouse, LLC by warranty deed from Roselene A. Adams March 9, 2004 and recorded in Book 5827, Page 209 of the Androscoggin County Registry of Deeds.

PARCEL 2

A certain lot or parcel of land, with any improvements, thereon situated in Poland, County of Androscoggin, State of Maine, bounded and described as follows:

Beginning at the southeast corner of a parcel of land of Everett York and traveling East one hundred (100') feet to the northeast corner of Charlie McAlister's land and continuing East one hundred (100') feet by land of Dale Page to a pin to be set, for a total of three hundred (300') feet in from Route 26; thence traveling North five hundred twenty-five (525') feet to land of Irving Groves to a pin to be set, which point is three hundred (300') feet in from Route 26; thence West along Irving Groves' lot one hundred fifty (150') feet to land now or formerly of Bill Turner; thence South along Turner's lot two

hundred (200') feet to a pin; thence West fifty (50') feet to a pin on the northeast corner of land of Mechanic Falls Railroad Warehouse, LLC; thence South along M.F.R.W., L.L.C. land two hundred (200') feet to land of Everett York; thence South along York's land one hundred twenty-five (125') feet to the point of beginning. C O P Y C O P Y

Being the same premises as conveyed to Mechanic Falls Railroad Warehouse, L.L.C by warranty deed from Dale Page and Bernice Page dated May 18, 2004 and recorded in Book 5919, Page 133 of the Androscoggin County Registry of Deeds. O F F I C I A L C O P Y

O:\Andro\WPDOCS\DIANA\MISC DEEDS 2017\McFalls Railroad Warehouse LLC to Taylor Investments LLC\DEED.doc

ANDROSCOGGIN COUNTY
TINA M CHOUINARD
REGISTER OF DEEDS



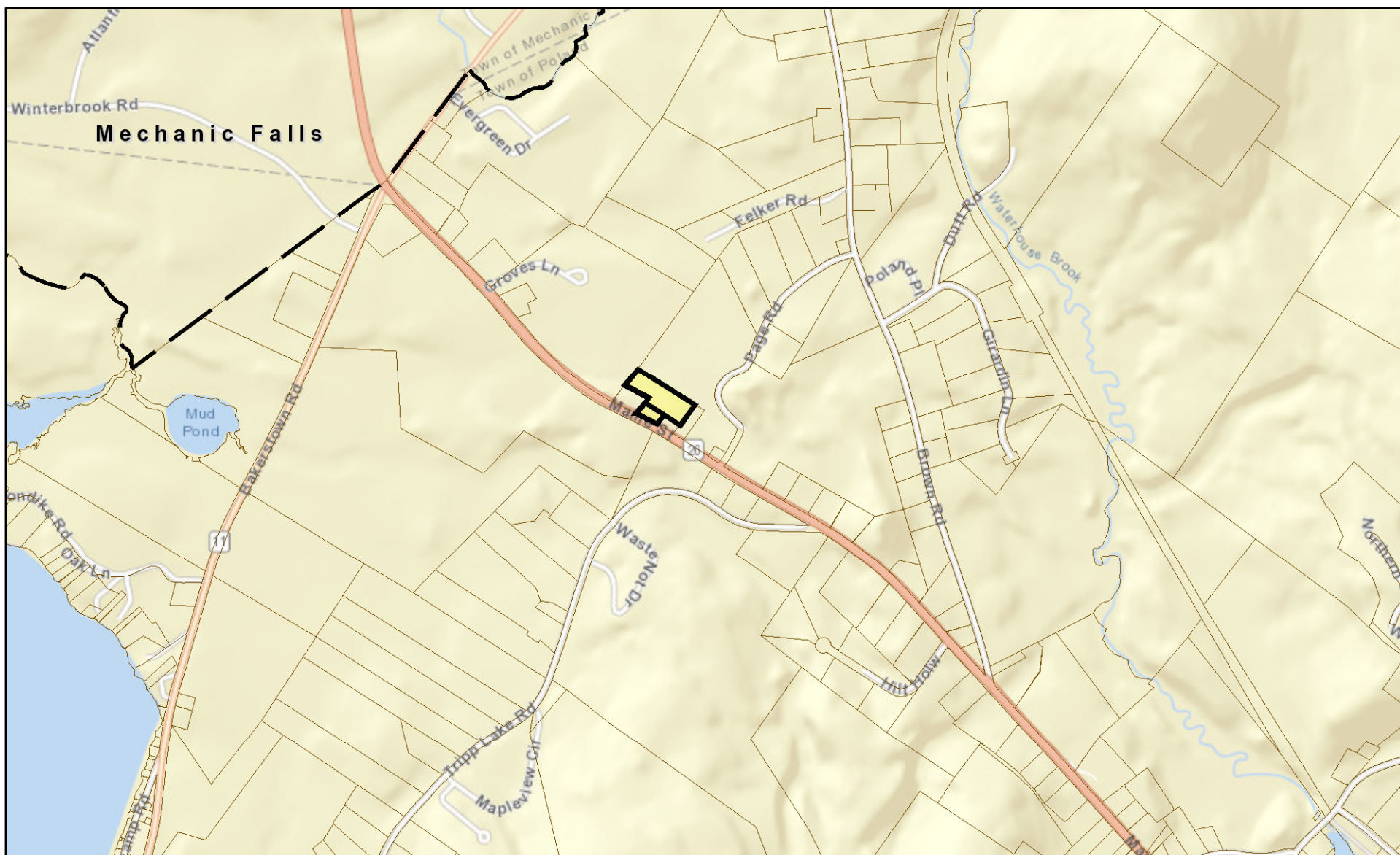
Poland, ME

1 inch = 1082 Feet

0 1082 2165 3248



June 11, 2020



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



500 foot Abutters List Report

Poland, ME
June 11, 2020

Subject Properties:

Parcel Number: 0015-0021
CAMA Number: 0015-0021
Property Address: 1408 MAINE ST.

Mailing Address: TAYLOR INVESTMENTS, LLC
359 JOHNSON HILL RD
POLAND, ME 04274

Abutters:

Parcel Number: 0015-0005
CAMA Number: 0015-0005
Property Address: 1385 MAINE ST.

Mailing Address: JTK HOLDINGS, LLC
C/O COMMERCIAL PROPERTIES P O
BOX 66749
FALMOUTH, ME 04105

Parcel Number: 0015-0005C
CAMA Number: 0015-0005C
Property Address: MAINE ST.

Mailing Address: KIMBALL & CORCORAN, INC.
37 SHERRI'S WAY
MECHANIC FALLS, ME 04256

Parcel Number: 0015-0006
CAMA Number: 0015-0006
Property Address: 1457 MAINE ST.

Mailing Address: REGIONAL SCHOOL UNIT #16
3 AGGREGATE RD.
POLAND, ME 04274

Parcel Number: 0015-0006A
CAMA Number: 0015-0006A
Property Address: MAINE ST.

Mailing Address: POLAND, TOWN OF
1231 MAINE STREET
POLAND, ME 04274

Parcel Number: 0015-0019
CAMA Number: 0015-0019
Property Address: 34 GROVES LANE

Mailing Address: GROVES, MARIE
P. O. BOX 26
POLAND, ME 04274

Parcel Number: 0015-0019
CAMA Number: 0015-0019
Property Address: 34 GROVES LANE

Mailing Address: GROVES, MARIE
P. O. BOX 26
POLAND, ME 04274

Parcel Number: 0015-0019
CAMA Number: 0015-0019
Property Address: 34 GROVES LANE

Mailing Address: GROVES, MARIE
P. O. BOX 26
POLAND, ME 04274

Parcel Number: 0015-0019
CAMA Number: 0015-0019
Property Address: 34 GROVES LANE

Mailing Address: GROVES, MARIE
P. O. BOX 26
POLAND, ME 04274

Parcel Number: 0015-0019
CAMA Number: 0015-0019
Property Address: 34 GROVES LANE

Mailing Address: GROVES, MARIE
P. O. BOX 26
POLAND, ME 04274

Parcel Number: 0015-0019
CAMA Number: 0015-0019
Property Address: 34 GROVES LANE

Mailing Address: GROVES, MARIE
P. O. BOX 26
POLAND, ME 04274



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500 foot Abutters List Report

Poland, ME
June 11, 2020

Parcel Number: 0015-0019
CAMA Number: 0015-0019
Property Address: 34 GROVES LANE

Mailing Address: GROVES, MARIE
P. O. BOX 26
POLAND, ME 04274

Parcel Number: 0015-0019
CAMA Number: 0015-0019
Property Address: 34 GROVES LANE

Mailing Address: GROVES, MARIE
P. O. BOX 26
POLAND, ME 04274

Parcel Number: 0015-0019
CAMA Number: 0015-0019
Property Address: 34 GROVES LANE

Mailing Address: GROVES, MARIE
P. O. BOX 26
POLAND, ME 04274

Parcel Number: 0015-0020
CAMA Number: 0015-0020
Property Address: 1416 MAINE ST.

Mailing Address: MOODY, MICHAEL I.
67 BROWN RD UNIT 2
MECHANIC FALLS, ME 04256

Parcel Number: 0015-0022
CAMA Number: 0015-0022
Property Address: 1400 MAINE ST.

Mailing Address: YORK, EVERETT JOHN SR
1400 MAINE ST.
POLAND, ME 04274

Parcel Number: 0015-0023
CAMA Number: 0015-0023
Property Address: 1384 MAINE ST.

Mailing Address: POULIN, MAURICE R.
1384 MAINE ST.
POLAND, ME 04274

Parcel Number: 0015-0024
CAMA Number: 0015-0024
Property Address: 1372 MAINE ST.

Mailing Address: PAGE, BERNICE - ESTATE
P. O. BOX 122
POLAND, ME 04274

Parcel Number: 0015-0024
CAMA Number: 0015-0024-ON
Property Address: 76 PAGE RD.

Mailing Address: PAGE, TIMOTHY
76 PAGE RD.
POLAND, ME 04274

Parcel Number: 0015-0026
CAMA Number: 0015-0026
Property Address: PAGE RD.

Mailing Address: PAGE, BERNICE H - ESTATE
P. O. BOX 122
POLAND, ME 04274

Parcel Number: 0015-0026C
CAMA Number: 0015-0026C
Property Address: 1396 MAINE ST.

Mailing Address: MCALLISTER, CHARLES W.
1396 MAINE ST.
POLAND, ME 04274

Parcel Number: 0015-0026
CAMA Number: 0015-0026-ON1
Property Address: 153 BROWN RD.

Mailing Address: PAGE, ALBERT
PO BOX 122
POLAND, ME 04274

Parcel Number: 0015-0026
CAMA Number: 0015-0026-ON5
Property Address: 42 PAGE RD.

Mailing Address: DEBURRA, ANTHONY
PO BOX 532
POLAND, ME 04274

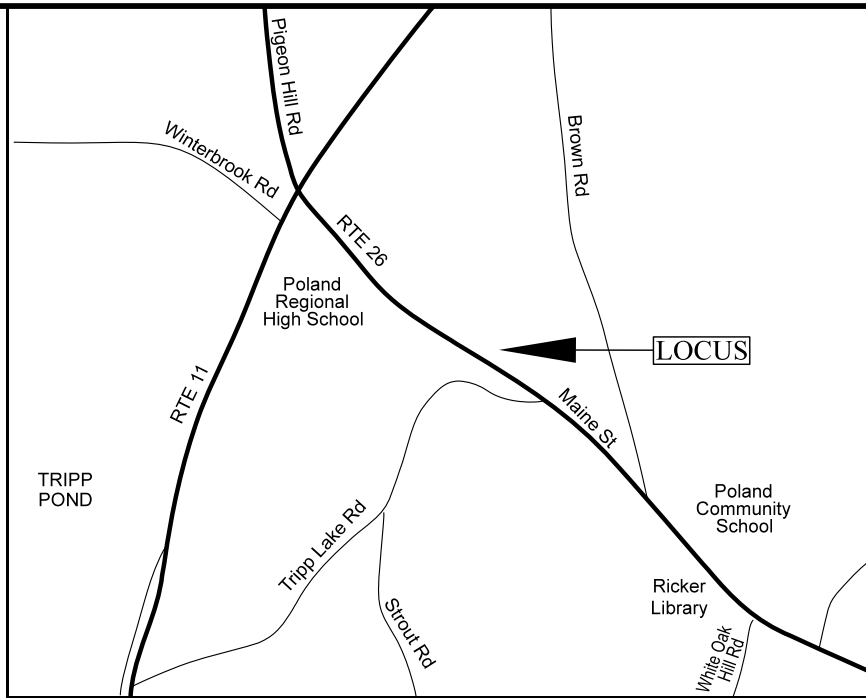
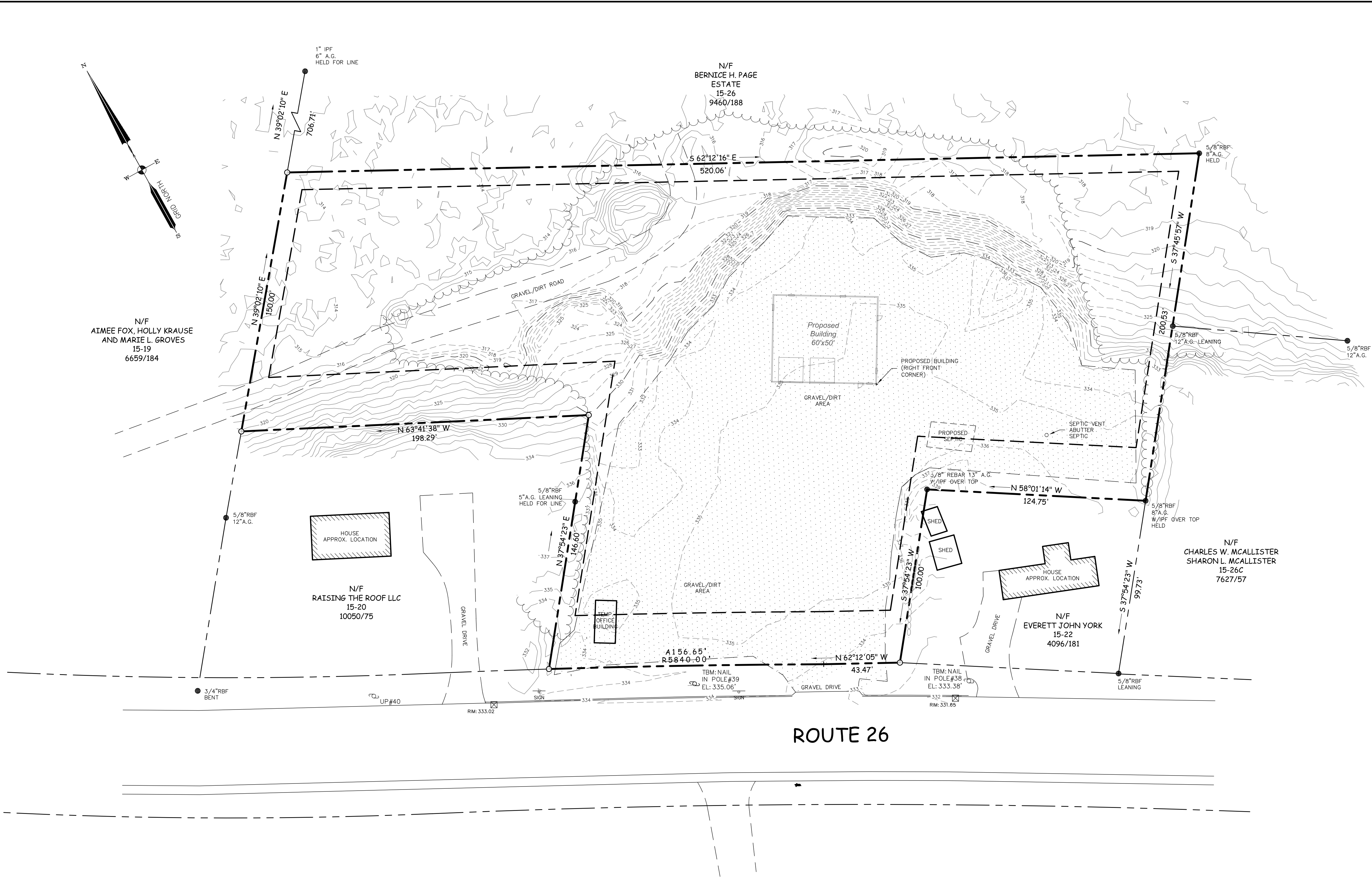


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6/11/2020

Page 2 of 2



LOCATION PLAN

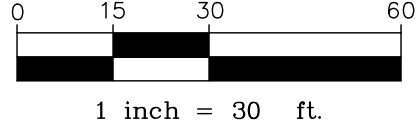
NOTES:

- 1. PERIMETER BOUNDARY SURVEY BASED ON PLAN REFERENCE A BELOW.
- 2. RECORD OWNER: TAYLOR INVESTMENTS LLC
- 3. PARCEL DEED REFERENCE:
SEE DEED FROM MECHANIC FALLS RAILROAD WAREHOUSE, LLC TO TAYLOR INVESTMENTS, LLC DATED JANUARY 25, 2017, RECORDED AT THE ANDROSCOGGIN COUNTY REGISTRY OF DEEDS IN BOOK 9572, PAGE 335.
- 4. ALL BOOK AND PAGE REFERENCES REFER TO THE ANDROSCOGGIN COUNTY REGISTRY OF DEEDS.
- 5. PARCEL TAX MAP REFERENCE: TOWN OF POLAND, MAP 15, LOT 21
- 6. TOTAL AREA OF PARCEL 2.52 ACRES.
- 7. ALL BEARINGS ARE REFERENCED TO GRID NORTH, NAD83 MAINE STATE PLANE WEST.
- 8. THE LOCATION, SIZE, AND DEPTH OF UNDERGROUND UTILITY LINES, TANKS, AND OR STRUCTURES NOT DETERMINED BY THIS SURVEY.
- 9. PARCEL IS WHOLLY LOCATED IN THE DOWNTOWN ZONE.
- 10. PLAN REFERENCES:
A) PLAN OF LAND OF MECHANIC FALLS RAILROAD WAREHOUSE LLC, 1408 MAINE STREET, POLAND, MAINE, PREPARED FOR TAYLOR INVESTMENTS, LLC, DATED JUE 4, 2020, PREPARED BY JONES ASSOCIATES INC.

LEGEND

- SUBJECT BOUNDARY LINE
- ABUTTER OR RIGHT OF WAY LINE
- CONTOUR SURVEY LOCATED
- CONTOUR FROM LIDAR 2009
- SETBACK LINES
- TREELINE
- EXISTING GRAVEL AREA
- NOW OR FORMERLY
- DEED BOOK PAGE REFERENCE
- TAX MAP AND LOT NUMBER
- IRON PIPE/ROD/REBAR FOUND
- CRBS
- 5/8" REBAR W/ CAP TO BE SET
- UTILITY POLE

GRAPHIC SCALE



REVISIONS

NO.	DATE	DESCRIPTION	BY

PLAN OF LAND OF

TAYLOR INVESTMENTS, LLC
1408 MAINE STREET
POLAND, MAINE

PREPARED FOR: TAYLOR INVESTMENTS, LLC
359 JOHNSON HILL ROAD
POLAND, MAINE

PREPARED BY:
JONES ASSOCIATES INC.
Foresters, Surveyors And
Environmental Consultants

RECORD OWNERS:
Taylor Investments, LLC
359 Johnson Hill Road
Poland, Maine

PLAN DATE:
JUNE 7, 2020

SCALE: 1"=30'

PROJ. #: 17-005PO



Construction Proposal

Owner

Spruce Bay Farm & Landscape Inc.
1408 Maine Street

Poland, Maine 04274

Home:

Cell: (207) 650-7752

Work:

Other:

sprucebay@fairpoint.net

Deliver To

Spruce Bay Farm & Landscape Inc.
1408 Maine Street

Poland, Maine 04274

Home:

Cell: (207) 650-7752

Work:

Other:

sprucebay@fairpoint.net

Building Info

Style	Width	Height	Length	Truss Spacing	Roof Pitch	Lower Chord	Peak Height	Soffit Height
306	60'	16'	50'	5'	4/12	0/12	27' 6.5"	16' 5"

306 60'x16'x50' (#1) - Building Use: Commercial - Warehouse

Payment Terms

Total price is based on payments according to the payment schedule shown. Payments are subject to the Terms and Conditions, #2. All applicable Taxes are included.

Pricing is contingent upon delivery of material on or before December 28, 2020. (See Building Site Specifications, #2)

Approximate delivery after September 28, 2020.

Down payment type: Check #

Progress Payment 1 due upon: When Permit/Financing is secured by owner

Progress Payment 2 due upon: When Building is Framed, Roofed, and Sided

Down Payment: **\$2,500.00**

Progress Payment 1: **\$30,723.00**

Delivery Payment: **\$54,863.00**

Progress Payment 2: **\$10,972.50**

Final Payment: **\$10,666.50**

Total: \$109,725.00

Customer Signature

THIS ORDER CONSISTS OF BUILDING SPECIFICATION(S), BUILDING PERSPECTIVE(S), COLUMN PLAN(S), BUILDING COLOR DEFINITION(S), SITE CONDITIONS, BUILDING SITE SPECIFICATIONS (06/10), TERMS AND CONDITIONS (10/16), CONSTRUCTION PLANNING WARNING (06/10), AND 620 FLUOROFLEX® LIMITED WARRANTY WHICH ARE ATTACHED AND INCORPORATED HEREIN

By signature below, I certify that Glen Bolduc hold(s) title to the
(Print Property Owner's Name)

property upon which construction will be performed under this Order and has given permission for construction

Signature of Glen Bolduc

5/13/2020
Signature Date

The individual signing this agreement represents that he or she (as applicable) has the authority to bind the entity named in this agreement to all of its terms and conditions.



Building #1 Specifications

Building Info	Style	Width	Height	Length	Truss Spacing	Roof Pitch	Lower Chord	Peak Height	Soffit Height
	306	60'	16'	50'	5'	4/12	0/12	27' 6.5"	16' 5"

306 60'x16'x50' (#1) - Building Use: Commercial - Warehouse

Foundation

Formed poured concrete wall with footing (Form 222/223 - Detail #4) (By owner)
Treated Wood splashboard system, mounted at grade to column.

Siding

South, East, North, West wall(s) Fluoroflex™ 1000 Hi-Rib Steel Minimum .019 (Fastened with Stainless Steel Screws)

Wainscot

South, East, North, West with 36" tall Fluoroflex™ 1000 Hi-Rib Steel Minimum .019 wainscot (Fastened with Stainless Steel Screws)

Protective Liner

South, East, North, West wall(s) with 7/16" thick OSB by approx. 32" tall Protective Liner
Protective Liner

Roof

Fluoroflex™ 1000 Hi-Rib Steel Minimum .019 (Fastened with Stainless Steel Screws) with Vent-A-Ridge
Structure has not been designed for installation of anything which could retain snow on the roof.

1 3'6" Square Cupola, Non Functional with 'M' 30" Weathervane

Overhangs

South, North wall(s) 2' Wide Vented Sidewall Overhang with Standard 6" fascia, T#78
East, West wall(s) 2' Wide Non Vented Endwall Overhang with Standard 6" fascia

Walk Doors

1 A 3' x 6'8" 9 Lite Tempered Glass in Leaf with Embossed Crossbuck Fibersteel Walk Door(s) out-swing right hinge with interconnected lever lockset/deadbolt, closer
1 B 3' x 6'8" 9 Lite Tempered Glass in Leaf with Embossed Crossbuck Fibersteel Walk Door(s) out-swing left hinge with interconnected lever lockset/deadbolt, closer

Windows

5 C 3'4"x4'0" MB Single Hung Window(s) with low E glass with argon, grids between the glass

Overhead Door Opening

2 D 14'0" x 14'0" Overhead Door Opening (Requires a minimum 14' 2" X 14' 1" panel), OHD/Operator requires 2' Headroom, Available Headroom is 2' 1"

Eyebrows

1 E 11 lineal feet of coverage, 3' wide Eyebrow, 6" fascia with 10/12 roof pitch, 8' grade to soffit



Start eyebrow on West wall 48 feet from left edge of building for 11 feet
Start of eyebrow Hipped End and end of eyebrow Hipped End
Roof of eyebrow to be Fluoroflex™ 1000 Hi-Rib Steel
without Gutter

Energy Performer

Ceiling Finish with Hi-Rib Steel (.019 White CQ Polyester Solid) Fastened to Lower Chord of Truss with Painted Steel Screws, 4 Mil Vapor Retarder and Air Deflector at Eaves Between Trusses
South, East, North, West wall(s) Interior Wall Finish with Hi-Rib Steel (.019 White Polyester) Fastened to Nailers with Painted Steel Screws, Wall Cavity is Insulated with 6" Fiberglass Insulation and 4 Mil Vapor Retarder

Subcontracts

Install 3000 Sq Ft of R-49 fiberglass blown-in insulation in the attic area of the 60' x 16 x 50' Morton Building.

Additional Information**BUILDING PRICE INCLUDES:**

ALL MATERIALS, LABOR, FREIGHT, EQUIPMENT CHARGES FOR MORTON'S SCOPE OF WORK

ENGINEERED STAMPED PLANS

MORTON WARRANTY

BUILDERS RISK INSURANCE

PORTABLE TOILET AND DUMPSTER

BUILDING PRICE DOESN'T INCLUDE:

SITE WORK AND FOUNDATION

OVERHEAD DOORS

ELECTRICAL AND LIGHTING

INTERIOR ROOMS

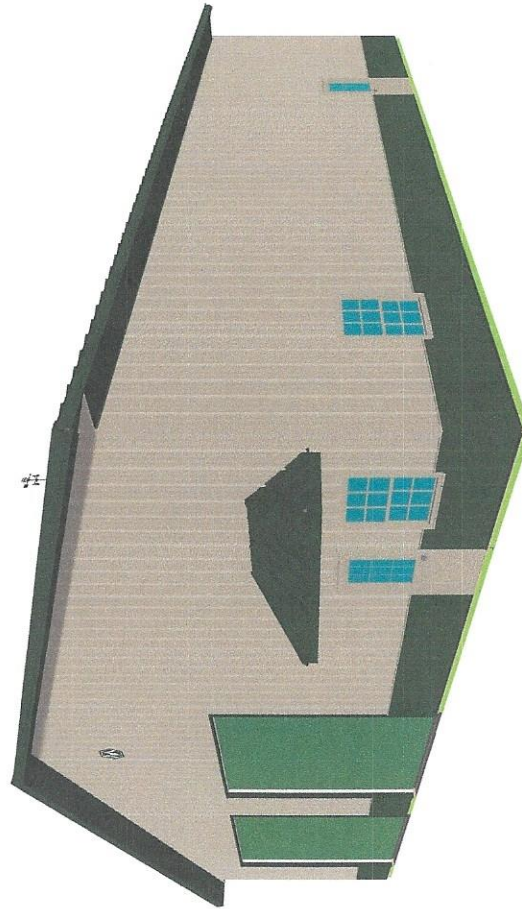
BUILDING PERMIT

Disclaimers

Customer relieves Morton Buildings, Inc. from liability for snow infiltration which may occur under certain conditions including but not limited to high wind, snow level and building orientation.

All interior rooms including tack/feed rooms, horse stalls and wash stalls called out in this contract are nominal size. Actual size may vary. If this project requires specific clearance dimensions in any interior room then those specifications must be added to the contract verbiage.

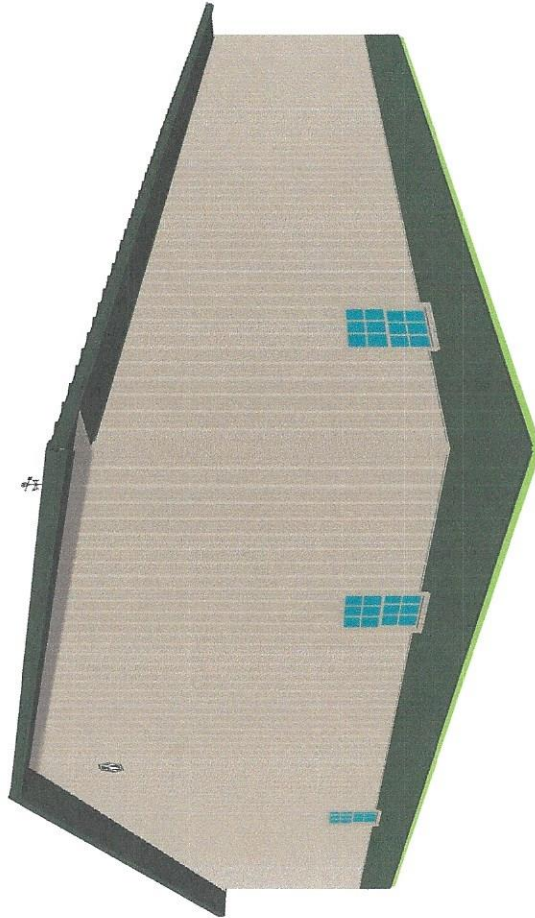
306 60'x16'x50' West and South Walls





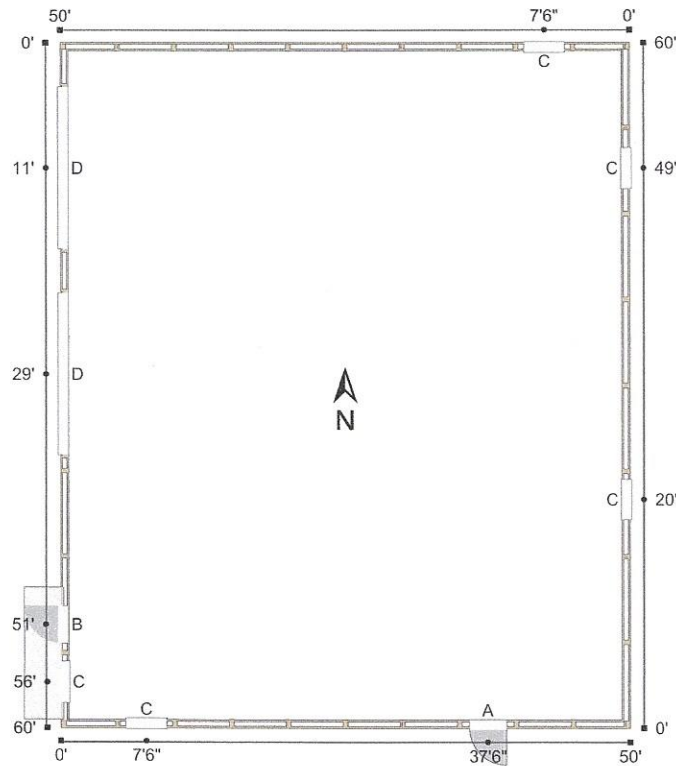


306 60'x16'x50' East and North Walls



A handwritten signature in black ink, appearing to be 'Sub', written over a horizontal line.

306 60'x16'x50' (#1) Column Plan



[Handwritten Signature]



Building 306 60'x16'x50' (#1) Color Definition

Roof (4/12 PITCH)		OHD/Coil-Up Doors	
	Color		Color
HiRib Steel	Evergreen	Overhead Door Trim	Evergreen
Vent-A-Ridge	Evergreen	Overhead Door Panel	Green
Soffit	Evergreen		
Gable Trim (Roof)	Evergreen		
Fascia	Evergreen		
Ceiling	White ‡		
Side & End Wall		Porch/Eyebrow/Lean-To	
	Color		Color
HiRib Steel	Beige	Eyebrow Soffit	Evergreen
Corner Trim Above Wainscot	Beige		
Transition Trim	Beige		
Interior Liner of Wall	White §		
Wainscot		Cupola	
	Color		Color
HiRib Steel	Evergreen	Roof	Evergreen
Corner Trim	Evergreen	Sides	Beige
Base Trim	Evergreen	Base	Evergreen
Windows		Walk Doors	
	Color		Color
MB Windows	Beige **	Walkdoor With CrossBuck/Panel (Fibersteel & MB)	Beige
Trim	Beige	Fibersteel Trim	Beige

** Features not manufactured by Morton may have a color deviation from Morton painted steel colors.

This building will not be connected to another building and no other Morton building is on site.

‡ Hi-Rib Steel (.019 White Poly)
§ Hi-Rib Steel (.019 White Poly)



Site Work Responsibilities

Morton Buildings, Inc. has prepared Building Site Specifications with Diagrams and made them part of this agreement. The checklist below designates whether Morton (MBI) or Owner (O) is responsible to perform and pay for the services identified.

Permit

(Owner) Building
(Owner) Zoning
(Owner) Road Access

Site

(Owner) Site Survey
(Owner) Site Engineering (plan, water, soil bearing)
(Owner) Environmental Impact Study
(Owner) Percolation Test
(Owner) Private utility lines identified and marked
(Owner) Site Preparation (Pre-Construction)
(Owner) Purchase of (Pre-Construction) Fill Material
(Owner) Obstruction Removal
(Owner) Covering or Disconnection of Electrical Lines
(Owner) Termite Pre-Treatment
(Owner) Final/Finish Grading
(Owner) Landscaping
(Owner) Snow Removal
(MBI) Dumpster/Trash Removal
(MBI) Utility Line Marking/Digging Clearance

Other

(MBI) None
(Owner) None

Concrete

(Owner) Poured Foundation/Wall (see scope of work)
(Owner) Floor/Interior (Flatwork)
(Owner) Concrete Flatwork Preparation
(Owner) Door Approach/Exterior
(Owner) Sidewalks

Utilities

(Owner) Temporary Electrical Service
(Owner) Permanent Electrical rough-in/hookup
(Owner) Gas Service rough-in/hookup
(Owner) Water Service rough-in/hookup
(Owner) Sewer Service rough-in/hookup
(Owner) Cable TV Service rough-in/hookup
(Owner) Internet Service rough-in/hookup

Applicable Inspections

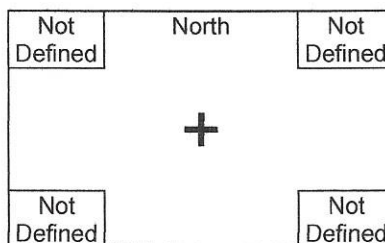
(Owner) Termite
(Owner) Footing
(Owner) Framing
(Owner) Electrical Rough
(Owner) Electrical Finish
(Owner) Plumbing Rough
(Owner) Plumbing Finish
(Owner) HVAC/Mechanical Rough
(Owner) HVAC/Mechanical Finish
(Owner) Fire/Life Safety
(Owner) Final
(Owner) Certificate of Occupancy

Site Conditions

The building site was inspected on 4/28/2020 by: Scott Grondin

Attach a photograph of site taken on above date and describe site preparation which must take place before delivery of material:

Define Benchmark Location:

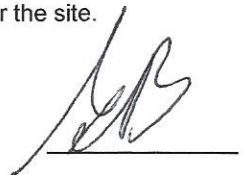




Building Site Specifications (06/10)

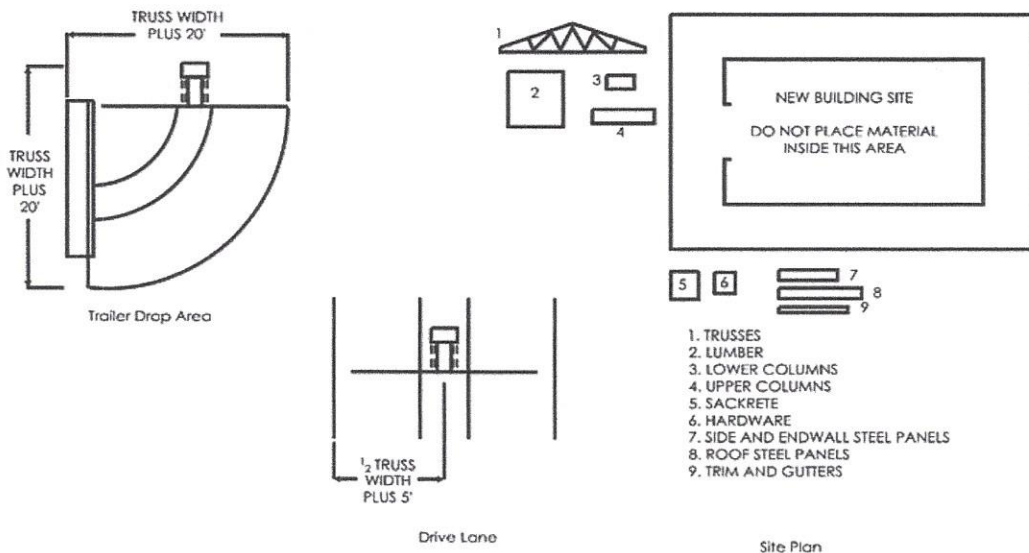
The importance of a prepared site cannot be overemphasized. You, the Owner, and your Morton Sales Consultant will inspect your site and make an evaluation of the site in preparation for construction of your Morton building.

1. You are required to designate on the Site Work Responsibilities which responsibilities are yours and which are the responsibilities of Morton Buildings, Inc. [hereinafter "Morton"].
2. If it is your responsibility to obtain plans, reports, permits, or variances you must do so within a reasonable time or the specified date on the Construction Proposal page. If delivery of your building material is delayed through no fault of MBI, upon notice the order may be re-priced or terminated at the option of MBI. If the order is terminated expenses accrued plus reasonable overhead and profit will be due. The responsibilities for site preparation, foundation or permitting which are yours must be completed before materials are delivered to the job site. If the site is not prepared upon arrival of materials, Morton has the option of delivering the materials or returning the materials to the origin of shipment. If materials are delivered, you will be responsible for any damage to materials due to storage at the site or other causes outside Morton's control. If materials are returned, you will be responsible for delivery and restocking charges when materials are reshipped to job site.
3. Site preparation includes establishing a safe working perimeter around the building site. This is a minimum of 10 feet working area beyond the edge of a proposed overhang on the building, a minimum of 30 feet away from non-insulated or damaged insulated wires, including overhead and underground lines, that conduct electricity and a minimum of 10 feet away from any insulated wires, including underground lines, that conduct electricity. Morton delivery and construction crews are authorized to refuse to work on unsafe job sites. If site preparation is your responsibility and the site is deemed unsafe, you will be responsible for any damages, including delay damages, incurred by Morton until the site is made safe for work.
4. If Special Site conditions were noted on Site Work Responsibilities, Morton may, with approval of the Safety Department, elect to build on your site using additional safety equipment or safety methods which will add extra charges to the total price.
5. Failure to provide services prior to construction for which you are responsible constitutes a waiver of Morton's liability for any damage which occurs as a result of your failure to provide agreed services on Site Work Responsibilities including, but not limited to, diminution in value for failure to provide survey or structural failure or building movement for failure to provide site engineering or proper site preparation. If the building is built on all or part of an existing foundation, Owner waives any claim against Morton for damage or loss caused by failure of any part of the building due to inadequate foundation and agrees to indemnify, defend and hold Morton harmless for same.
6. Buildings anchored in the ground must resist wind uplift. The soil composition and compaction must sustain loads for which concrete was designed. Improper drainage can cause frost heave. Improper site preparation and landscaping after construction can lead to wind damage, structural damage, settling, frost heave and cracking of walls or floors. If site preparation is your responsibility, you waive all liability against Morton for the above damages due to inadequate site preparation.
7. Definition of a Prepared Site
 - a. Site is level when rough grade is within +/- one (1) inch to agreed elevation.
 - b. Site allows all columns to set to natural, undisturbed soil of footings provided and meets earth work criteria below.
 - c. Grade elevation and finish floor elevation are marked on an agreed benchmark.
 - d. Building corners are flagged with either grade stakes or locator flags.
 - e. A minimum 10-foot wide clear work area is available around the perimeter of building, graded to slope 1-2 inches per foot away from building (not to exceed 2 inches per foot).
 - f. Site is free from above and below grade obstructions.
 - g. 110 Volt electricity is within 200 feet of building site unless noted otherwise in the Construction Agreement.
 - h. Overhead power lines within 30 feet of building, working area, unloading area or material storage area are either covered or disconnected.
 - i. Access to site and space for unloading is available as described below.
 - j. Underground utility lines (Telephone, Electric, Gas, Water, Sewer, Cable TV, Fiber Optics) are located and clearly marked by local utility companies or Owner if lines are private. Owner is responsible for any charges by utility company to mark private lines.
 - k. Soil compaction to 95% of its maximum density or that specified in an engineering report for the site.
8. Earthwork criteria





- a. Site preparation consists of the removal of organic matter, loose top soil, vegetation, unsuitable soil types, and cutting high areas or filling low areas with well-graded fill that is free of rocks (4" or larger except in column area where maximum size must be 1" or less), free of debris and frost when placed, and can be compacted to 95% of its maximum density. Earth removed from high areas can only be used if it meets these specifications.
- b. If the building will have a concrete floor, a minimum of 4 inches of well-graded fill must be provided to level the rough grade. Well-graded fill is material consisting of particle sizes from its coarsest to finest particles, is trimable, compactable and granular. A washed sand is not compactable and must not be used for fill.
9. You release Morton and accept all liability for any losses that result from damage to private utility lines not properly marked and identified before construction.
10. If, during construction, underground obstructions require special digging equipment and/or additional labor, the cost plus reasonable markup will be charged as extra charges if site preparation is your responsibility.
11. You must provide suitable access to the work site. Additional charges will be added to the Construction Agreement if the trailer drop area and drive lane do not meet the criteria below and Morton must drop materials away from the work site. Construction equipment can cause tire ruts in soft ground or damage concrete driveways or sidewalks if the only access is over these areas. You accept all liability for repairs to the work site which result from reasonable ingress, egress or equipment (such as lift trucks) usage during building construction by Morton or its subcontractors.
12. Morton recommends that final grading of the job site not be done before construction. Owner is responsible for repairs to site if final grading is done before construction.
13. Access to Site and Space for Unloading
 - a. Material for your building will be delivered on one or more flat bed trailers. The semi-tractor is equipped with forklifts to mechanically unload materials. The truck driver will need space to maneuver and stack the building materials.
 - b. You or your representative must be present during the unloading to accept delivery and to call for assistance in case of an emergency.
 - c. Trailer drop location must be reasonably level. Area can be on the job site, main driveway, or near the building site.
 - d. Drive lane is a path from trailer to stacking area on which unloading semi-tractor must travel. There must be at least 5 foot clearance on either side of the truss suspended from forks. Trusses are usually the same length as building width.
 - e. All materials will be stacked in the designated locations per the diagram below. If material needs to be dropped more than 200 feet from the building location, an additional charge will be added to the Construction Agreement.
14. You must designate an area for excess dirt (spoilings) stockpiled on site before construction begins.



**Terms and Conditions (10/16)**

1. Morton Buildings, Inc. [hereinafter "Morton"] shall submit a request for payment in a manner agreed by the Parties. Morton may stop work if any payment, including payment for extra work, is not made to Morton according to the terms of this Order. If such non-payment occurs, Morton may keep the job idle without liability until all payments are received.
2. In the event of default by Owner under any term of this Order, including the schedule set forth in the Payment Terms, Morton shall be entitled to 1 1/2% per month interest (18% annual rate) or the maximum rate allowed by law in the state where the Work is located if less than 18% annual rate. Owner agrees to pay Morton reasonable costs and attorney fees incurred to enforce the terms of this Order.
3. The Owner, by making final payment under this Order, waives any claim that it may have against Morton for damages from defects that are known to the Owner or apparent from reasonable inspection at the time final payment is made except for those upon which Owner has given notice to Morton as either a punchlist item or a claim for warranty repair. This waiver does not affect Owner's right to make a claim for warranty repair for defects which are not known or reasonably apparent at time of final payment.
4. Title to all materials incorporated in the project shall remain with Morton until Owner has made all payments required under this Order. If Owner fails to make such payments, Morton shall be entitled to retake possession of such materials incorporated into the project by Morton or its Subcontractors regardless of any damage to the structure or to Owner's property that such repossession might entail. Material shipped to the job site by Morton which is not used in construction remains the property of Morton.
5. WARNING TO OWNER: IF YOU SIGN THIS ORDER, MORTON, ITS SUBCONTRACTORS OR SUPPLIERS WHO PROVIDE WORK OR MATERIALS TO THE JOB SITE MAY HAVE A RIGHT UNDER THE LAWS OF YOUR STATE TO FILE A MECHANIC'S LIEN ON YOUR PROPERTY. THIS MEANS YOUR PROPERTY CAN BE SOLD WITHOUT YOUR PERMISSION AND WITHOUT ANY COURT ACTION IF YOU MISS ANY PAYMENT REQUIRED BY THIS ORDER. STATE LAW MAY CONTAIN IMPORTANT REQUIREMENTS YOU MUST FOLLOW BEFORE YOU MAY FILE A LAWSUIT FOR DEFECTIVE CONSTRUCTION AGAINST THE CONTRACTOR WHO CONSTRUCTS YOUR BUILDING. NINETY DAYS BEFORE YOU FILE YOUR LAWSUIT, YOU MUST DELIVER TO THE CONTRACTOR A WRITTEN NOTICE OF ANY CONSTRUCTION CONDITIONS YOU ALLEGE ARE DEFECTIVE AND PROVIDE YOUR CONTRACTOR THE OPPORTUNITY TO MAKE AN OFFER TO REPAIR OR PAY FOR THE DEFECTS. YOU ARE NOT OBLIGATED TO ACCEPT ANY OFFER MADE BY THE CONTRACTOR. THERE ARE STRICT DEADLINES AND PROCEDURES UNDER SOME STATE LAWS, AND FAILURE TO FOLLOW THEM MAY AFFECT YOUR ABILITY TO FILE A LAWSUIT.
6. This Order is conditioned upon Owner's ability to arrange satisfactory financing for the project. Before work begins, Owner shall disclose to Morton its arrangements for financing payments required under this Order according to Morton's credit policy. Morton will have no obligation to start work until Morton is satisfied that such financial arrangements are reasonably adequate to assure payment. Financial information submitted by Owner for review will be treated by Morton as confidential information.
7. The terms and conditions of this Order must be reviewed by Design Services and accepted by the Corporate office of Morton Buildings, Inc., located in Morton, IL. If the review indicates that local code compliance requires additional charges, Owner will be notified and given the option to cancel the order or proceed at the new price. Prior to acceptance, Morton may reject the Order and discharge all liability to Owner by return of any monies paid by Owner as down payment. Owner will receive written notice of acceptance from the Corporate office.
8. The terms and conditions set forth in this Order constitute the entire agreement between the Parties. No other warranties, representations, including any building visualization produced by graphic software, conditions, proposals or agreements, whether oral or written, shall be binding unless incorporated into this Order which can only be modified by an agreement in writing signed by Owner.
9. Morton shall be excused for any delay in completion of the agreement caused by acts of God; acts of owner, or owner's agents, employees or independent contractors; inclement weather, acts of public utilities, public bodies, or inspectors (but not related to possible defects in Morton's performance); changes requested by Owner; or other contingencies unforeseen by Morton and beyond its reasonable control. Owner acknowledges the approximate Delivery Date on this Order may change and agrees to accept delivery of materials at any reasonable time after the Order has been placed on shipping schedule.
10. After acceptance of the Order, Morton may terminate its obligations under the agreement if embargoes; acts of war or terrorism; inability to obtain transportation, labor or materials or reasonable substitutes for transportation, labor or materials; government restrictions or controls; judicial orders; civil commotion; fire, flood, or other casualty; or any other unforeseen, whether or not foreseeable, causes beyond its reasonable control render performance commercially impracticable under the agreement.



11. Morton may, at its option, terminate its obligations under this agreement if construction costs increase more than 10% from the time of acceptance of the Order until time of placement on transport for shipment. If a greater than 10% increase in construction costs occurs between the time of acceptance and the time of placement on transport for shipment to the Owner, Morton will provide the Owner notice with the option to perform the agreement with the addition of a surcharge reflecting the cost increase related to the project. If Owner does not agree to the surcharge, the agreement will be terminated and Owner will be required to pay Morton all costs plus reasonable markup expended in performance of the agreement to date of termination.
12. Morton may bar occupancy of the project by Owner until Morton has received all payments due under the terms of this Order. Owner may take possession of the building before completion provided all payments have been made and Owner has provided proof to Morton of insurance for the building and contents. Morton's obligation to provide Builder's Risk insurance ceases upon Owner's occupancy or use if such occurs before completion of construction.
13. Morton and its Subcontractors shall, at their expense, obtain and maintain insurance with reputable carriers on all their operations through completion of project, including the following coverages:
 - a. Workers' compensation and employer's liability as required by law;
 - b. Commercial general liability insurance covering all operations;
 - c. Automobile liability insurance, including coverage for all owned, hired and non-owned vehicles;
 - d. Broad form Builder's Risk in a sum at least equal to the agreed price of the Order and any subsequent change orders.
14. Morton disclaims any and all liability for damage to person or property resulting from mold growth within any part of the building envelope due to moisture entering the building envelope prior to Morton's completion of construction, or as a result of damage to or penetration of the building by others. Subterranean termites are a potential source of damage to lumber and other wood products. Treated lumber in columns, splashboards or sill plates will not keep termites out of a building. Pre-treatment of the site, including the area around the columns, splashboards, concrete or block foundations and under floors is recommended. This is especially important in a building with enclosed insulated walls. Only preservative treated lumber in a Morton building is warranted against termites.
15. The drawings provided with this Order are the property of Morton and represent a preliminary layout and rough sketch of a Morton building. Use of these documents for purposes of construction is strictly prohibited. Reproduction of these documents by anyone for any reason without written permission from Morton is prohibited. The actual design of your building will be developed and approved by licensed design professionals if required by law. Plans and specifications developed for this order are incorporated as part of the order as though set forth in detail herein; however, to the extent there may be discrepancies between Building Specifications and plans, Building Specifications supersede and control.
16. Design and construction are based on the Building Use designated in the Building Specifications. Owner accepts all liability and indemnifies and holds Morton harmless for losses, additional expenses or damages, including delay damages, which arise because the building is not used for its intended purpose stated in this Order.
17. In the event that any part of this Order shall be found to be void or unenforceable, such findings shall not be construed to render any other part of the Order either void or unenforceable, and all other parts of this Order shall remain in full force and effect unless the part(s) which is/are found to be invalid or unenforceable shall substantially affect the rights or obligations of either party.
18. Purlin shadowing / oil canning is a normal aesthetic condition of steel roofing and/or steel siding material.
19. This Order (and any change order thereto) may be executed in any number of counterparts, and by each of the parties on separate counterparts, each of which, when so executed, will be deemed an original, but all of which will constitute but one and the same instrument. Delivery of an executed counterpart of this Agreement by fax, email or other electronic means will be equally as effective as delivery of a manually executed counterpart of this Order.

Facsimile or scanned signatures on this Order and any related documents, and digital or electronic signatures where authorized under applicable law, will be fully binding for all purposes under this Order, although any documents that are to be recorded must be executed by both parties with original signatures.

By accepting goods, by acknowledging receipt of this Order (or any change order thereto), or by allowing commencement of the Work, Owner agrees to the terms and conditions contained in this Order (or any applicable change order), although its agreement to such terms and conditions is not limited to the foregoing methods. This Order (or any change order) may be accepted by Owner without signature.





Construction Planning Warning (06/10)

Morton Buildings, Inc. [hereinafter "Morton"] offers complete "turn-key" construction services by acting as General Contractor for your building project. The advantage to you, the Customer, is single-source responsibility for your project which significantly decreases construction delays due to scheduling and coordinating subcontractors. It has been our experience that irreparable damage can be inflicted to the function and aesthetics of buildings by careless installers unfamiliar with the Morton Buildings' system. Additionally, the Limited Warranty provided by Morton may be adversely affected or voided by work performed by other than Morton employees or subcontractors. Naturally, Morton cannot be held liable for the design and workmanship of others. If you decide to manage any aspect of the construction yourself, you must follow these guidelines:

1. Site Preparation

If you are responsible for site preparation, your order contains detailed specifications for preparation of your site. Your signature on the order certifies that the site preparer (you or your subcontractor) has read and understood the specifications provided by Morton and has prepared the site accordingly. Please be aware that the structural integrity of your Morton building depends on adequate site preparation; your certification means you accept liability for failure of any portion of the building due to site preparation done by anyone other than Morton or a Morton subcontractor.

2. Building Plan

If you elect to construct any portion of the interior of your Morton building, you must provide to Morton, during the planning phase of your building, an interior design layout, including, but not limited to, plans (certified, if required by your local building authorities) for any mechanical, plumbing, fire safety or electrical work to be done inside the building. These plans may necessitate changes to the design of your Morton building. By your signature on the order, you are certifying that you accept financial responsibility for changes made after construction begins if the plans provided during the design phase were inadequate or incomplete requiring additional changes to the Morton structure.

Acceptance of your plans by Morton does not relieve you or your contractors from liability for any inaccuracies in the plans. Morton does not review, approve, guarantee or warrant work done by anyone other than Morton or Morton's subcontractors; Morton expressly relies on the accuracy of the plans and documents provided by you when verifying the final design of your Morton building. Please be aware that local Building Code requirements and Life Safety issues may dictate specific building requirements, especially if the building includes living quarters or is used by the public. You expressly accept liability for compliance with all codes, laws and regulations for plans or documents provided by you to Morton.

Life safety issues to consider when planning your building include, but are not limited to, sleeping rooms must be provided with emergency escape to the outside by doors or escape windows, walls between the living area and the garage must be separated with a minimum of 1/2" thick gypsum board on the garage side, floor of living area may be required to be higher than the floor of the garage, and doors between the garage and living area must have a minimum of 20 minute fire rating. Your local or state laws may require different or more stringent construction. It is your responsibility to ensure your scope of work follows all laws and regulations regarding design and construction for life safety.

3. Subcontractors

If you intend to directly hire any trade work which will occur prior to or during the construction of your Morton building, you must provide to Morton a list of these subcontractors which includes Name, Address, Phone Number, Trade Type and a proposed construction schedule. Morton will rely on this schedule to plan for construction of Morton's portion of the project. You must arrange for job site supervision of your subcontractors; Morton will not coordinate, schedule, supervise or give any direction or instruction on the job site to anyone other than Morton's employees or Morton's subcontractors. Additionally, Morton will not take responsibility for security or safety of the job site while other than Morton or Morton's subcontractors are physically on the job site; while on the job site with your subcontractors, Morton will only be responsible for the area of work under its direct control or the control of its subcontractors. If the areas of control overlap, you expressly accept all liability for this responsibility.

When Morton's construction crew suffers an unscheduled interruption by other trades who need to install components under, through or in a structural wall, such interruptions will incur additional labor charges. For instance, additional crew labor expenses could occur if holes have to be cut into overhangs or porch soffits or through exterior walls to accommodate light fixtures. Delays caused by your subcontractors could also incur additional charges if Morton's estimated completion date is delayed.

Insurance coverage on the project provided by Morton will cover only that portion of the project which is within Morton's scope of work up to the value of the Morton contract; therefore, it is your responsibility to make sure your scope of work has adequate coverage for Builder's Risk and any other applicable insurance.

4. **Specific Trade Issues**

Concrete work which affects the structure of your Morton building must be done according to Morton's specifications. Specifications will be provided to you, and the work must be certified by you or your subcontractor before Morton resumes work. Morton expressly relies on this certification, which means that you accept all liability for any defect to your Morton building which results from faulty concrete design or work that you or your contractor has certified meets Morton's specifications.

If you hire subcontractors that require puncturing the Morton building's roof system with vent pipes or chimneys, the location of the penetration, the tools used in cutting holes, the sealing around pipes, and the replacement of insulation and vapor retarders must be inspected and approved by Morton's construction supervisors. Failure to do so voids your Morton roof warranty.

Mechanical contractors (plumbers, electricians, heating and air conditioning, etc.) may puncture the vapor retarders installed by Morton on the inside of the building. Punctured vapor retarders must be restored and inspected by a Morton employee before walls are covered with finish materials.

5. **Installation of Your Products by Morton**

If you wish to have Morton construction crews install your locally purchased doors and windows, you must provide, with the order to be sent to Morton, manufacturer's specifications (commonly called "cut sheets") for the items you wish to have installed so that such items can be included in the structural plans. Morton does not warrant the products but will guarantee for one year from time of installation that the installation is done in a good and workmanlike manner free from defects.





620 FLUOROFLEX® LIMITED WARRANTY

1. WHAT IS COVERED BY THIS WARRANTY

Morton Buildings, Inc. [hereinafter "Morton"] warrants to the Original Purchaser that the building which is the subject of this sale will be free from defects in material and workmanship for the duration of ONE (1) YEAR from substantial completion of the project. "Original Purchaser" is defined as the purchaser who is title holder to the property upon which the building is constructed at the time of purchase. This warranty cannot be transferred to subsequent property owner(s).

Morton warrants to the Original Purchaser [hereinafter "Purchaser"] the following items for the duration from substantial completion of the project shown in their respective headings. Substantial completion is when Morton's contracted work is complete exclusive of punchlist items.

FOR 50 YEARS:

- Morton will repair or replace the exterior building structural framework, exterior metal roof and siding panels and trims, windows, walkdoors (if purchased through Morton), cupolas and sliding doors if directly damaged due to snow loads.
- Morton will repair or replace preservative-treated lumber if the lumber fails due to fungal decay or insect attack.
- Morton will repair or replace any precast concrete product manufactured by Morton if the product has failed.

FOR 35 YEARS:

- Morton will repaint exterior FLUOROFLEX® metal roof or siding panels manufactured by Morton on which, under conditions of normal weathering, the paint has separated from the panels due to flaking or peeling.
- Morton will repaint exterior FLUOROFLEX® metal roof or siding panels manufactured by Morton which, under conditions of normal weathering, exhibit chalking greater than a rating of 8 (ASTM D4214 Method A) or color change greater than 5 units (ASTM D2244).

FOR 20 YEARS:

- Morton will repaint exterior FLUOROFLEX® metal roof and siding panels manufactured by Morton which, under conditions of normal weathering, exhibit corrosion resulting in red rust greater than 1/2 inch from the panel's sheared edges which is clearly visible in casual observation.

FOR 5 YEARS:

- Morton will repair roof leaks in metal roof panels manufactured and installed by Morton except those occurring where the building is connected to an adjoining structure.
- Morton will repair or replace the exterior building structural framework, exterior metal roof and siding panels and trims, windows, walkdoors (excluding storm doors), cupolas and sliding doors if directly damaged by wind loads.

If the purchaser discovers a claim within the applicable warranty period, he must promptly notify Morton. The claim procedure is described in the Owner's Manual. In no event shall such notification be received by Morton later than two weeks after the expiration of the applicable warranty period. Within a reasonable time after written notification of a warranty claim has been received, Morton will repair any failure of the building in compliance with this Limited Warranty. Such repairs, including parts, labor and reasonable transportation costs, are at Morton's expense. If Morton is unable to repair the building to conform to the warranty after a reasonable number of attempts, Morton will provide, at its option, one of the following: (a) a replacement part or parts or (b) a full refund of the price of the component part (s) adversely affected up to the amount of the original purchase price of the part.

These remedies are the purchaser's sole and exclusive remedies for a breach of warranty.

2. WHAT IS NOT COVERED BY THIS WARRANTY

Morton does not warrant:

- (a) damage caused by use of the building for purposes other than those for which it was designed, such as use of the clear span trusses for overhead storage, for support of ceilings, lifting devices or other equipment unless included in building design;



- (b) defects caused by Purchaser's failure to provide a suitable site for the building if required by the contract;
- (c) painted metal panels and trims on buildings within 2 miles of a salt water atmosphere or body of salt water;
- (d) damage to metal panels or trims due to contact with chemicals, soil, gravel, landscape materials or plants including grass or weeds, herbicides, pesticides, concrete or asphalt;
- (e) damage caused by disasters such as fire, flood, lightning or wind (except as above);
- (f) damage due to deterioration caused by interior chemical vapors, dust, excessive humidity, condensation, algae, mold, mildew, animal waste or saliva;
- (g) damage due to flying or falling objects including hail or storm debris;
- (h) damage to interior walls, interior and backside of exterior metal panels, ceilings, partitions, overhead doors, equipment, vehicles or contents;
- (i) connections which place additional loadings on other than Morton buildings;
- (j) component parts delivered to construction site which suffer damage from storage and exposure to weather due to delays caused by someone other than Morton;
- (k) any product, components or parts not manufactured or installed in the building by Morton;
- (l) cracking or spalling of concrete flat work that is not considered defective under ACI standards;
- (m) damage to site due to repair;
- (n) damage to additions (not made by Morton) due to repair;
- (o) damage caused by anyone other than Morton's employees or agents;
- (p) damage caused by other abuse or misuse;
- (q) normal wear and tear; or
- (r) cracks and surface imperfections that do not impair function or service life of precast concrete products are not considered a failure.
- (s) any products not purchased through Morton

This warranty is void if structural members of the building are altered without the written approval of Morton. For a discussion of some of the causes of damage excluded from this warranty, the purchaser should consult the Owner's Manual.

3. NO OTHER WARRANTY AND DISCLAIMER OF WARRANTY

Unless modified in writing and signed and dated by both parties, this Limited Warranty is understood to be the complete and exclusive warranty from Morton to the purchaser in connection with the sale of the building. It supersedes all prior warranties, oral and written, and other communication between the parties relating to the building warranty. No employee or agent of Morton or any other party is authorized to make any warranty in addition to those made in this Limited Warranty other than an Officer of Morton.

THE FOREGOING WARRANTIES ARE IN LIEU OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, INCLUDING, BUT NOT LIMITED TO, THE IMPLIED WARRANTIES OF MERCHANTABILITY, HABITABILITY, AND FITNESS FOR A PARTICULAR PURPOSE.

4. LIMITATIONS OF REMEDIES

In no case shall Morton be liable for any special, incidental, or consequential damages based upon breach of warranty, breach of contract, negligence, strict liability in tort, or any other legal theory. Such damages include, but are not limited to, loss of profits, loss of savings or revenue, loss of use of the building or any associated equipment, cost of capital, cost of any substitute facilities or services, downtime, the claims of third parties including customers, and injury to property. The limitation of consequential damages does not apply for injury to the person in those jurisdictions where such limitation is precluded. Some states do not allow limits on warranties, or on remedies for breach in certain transactions. In such state, the limits in this paragraph and in paragraph 3 above may not apply.

5. ALLOCATION OF RISK

This Limited Warranty allocates the risk of product failure between Morton and the purchaser. This allocation is recognized by both parties and is reflected in the price of the building. The purchaser acknowledges that he has read this Limited Warranty, understands it, and is bound by its terms.

Owner's Name _____

Project Number _____

MINIMUM SPECIFICATIONS FOR CONCRETE SCOPE OF WORK(Check Use) Specifications For: ☐ Walls ☐ Floor ☐ Footings

Anyone placing concrete in or around a Morton Building, whether it is the owner, owner's contractor, Morton Buildings, Inc. crews or subcontractors hired by Morton Buildings, Inc., must meet these minimum specifications.

SCOPE of WORK must include all labor, services, materials and equipment for installing concrete as shown on drawings or described herein. It must be done in cooperation with other trades to insure that sleeves, piping, conduit, frames curb angles or any other material that needs to be placed in or under concrete is done in a timely and agreed upon manner. Concrete contractor must fine grade with trimable, compactable, granular fill (not sand). Maximum aggregate size is 1/3 of base thickness.

FORMS must be designed, erected, maintained, braced properly for the job and be free and clean of foreign materials.

REINFORCING Specified rebars shall be grade 60 deformed and shall conform to ASTM 615. All rebar lap splices shall be a minimum of 12". Horizontal rebars shall be continuous through foundation steps, corners and at all foundation intersections. Welded wire fabric shall conform to ASTM 185. If any other reinforcing material is to be used, design clearance must be obtained from Morton before other reinforcing methods can be considered. Morton Buildings setting on concrete shall be anchored with factory made column sockets secured to concrete with "L" shaped anchor bolts, furnished by MBI. Concrete contractor shall be responsible for setting "L" shaped anchor bolts per concrete layout plan provided by MBI.

PLACEMENT Place concrete in accordance to ACI 318. It is the responsibility of the installer to insure that reinforcements, inserts, embedded parts, formed joint fillers are not disturbed during concrete placement and protection of other surfaces from concrete splattering.

JOINTS Construction, isolation or expansion, and control joints shall be placed per plan. Control joints may be achieved with saw cuts, hand grooving, or inserting a premolded strip and are not to exceed a maximum distance of 12' for 4" thick floors, 15' for 5" floors and 18' for 6" floors between joints as per industry standards and ACI 302. Control joints are to be to a depth of 1/4 thickness of the floor. Floors subject to wet exterior conditions should have joints filled and protected with appropriate joint sealant.

VAPOR RETARDER Per ACI 302.1R-96: 4.1.5 Vapor retarders (min. 6 mil) must be placed over a compacted granular base (trimable, compactable, granular fill - - not sand) and overlapped 6 in. at all joints. All torn vapor retarders must be repaired. 3.2.3 Proper moisture protection is desirable for any slab on ground where the floor will be covered by tile, wood, carpet, impermeable floor coatings (urethane, epoxy, or acrylic terrazzo), or where the floor will be in contact with any moisture-sensitive equipment or product.

PERIMETER INSULATION & DRAINAGE MATERIAL to be supplied and installed per plans by noted installer. Floors are to be sloped at 1/8" per ft. minimum towards a drain per ACI 302.

CONCRETE FINISHES Concrete floors that get covered with quarry tile, ceramic tile or terrazzo with a full bed setting system shall have a wood float finish. Steel trowel finish shall be used on floors to receive carpeting, resilient flooring, seamless flooring, thin set or ceramic tiles and on all exposed concrete floors. Broom finish all exterior slabs following the floating operation unless otherwise specified.

CURING Concrete flat work must have provisions for proper curing. Curing can be accomplished by covering with a curing compound, covering with polyethylene or other vapor retarder sheets, or using a moist curing process with burlap covering and water.

SEALERS & TOPPINGS Do not use floor sealers, curing compound or similar substances if concrete floor is to be covered with materials that require laminating to the floor because sealer most likely will reject the adhesive. If sealers or toppings are used, a manufacturer's specification sheet must be provided and application procedures followed with strict adherence to manufacturer's recommendations.

CONCRETE CONTRACTOR selected to place concrete agrees to the above specifications and is in concurrence that preliminary

DETAIL NUMBER _____ on the back of this page or attached special design will be incorporated into the final building plans

Construction will be based on foundation and concrete construction plans furnished by Morton Buildings, Inc. Concrete Contractor also agrees that a properly executed Waiver of Lien from the Readi-Mix company must accompany their request for payment. If Morton Buildings, Inc. has subcontracted the concrete work, the Concrete Contractor further agrees that they have a **Safety Plan** and that a copy of said safety plan is on file at the Morton Buildings, Inc. Construction Center.

MINIMUM CONCRETE SPECIFICATIONS

Location	Footing	Walls	Int. Slab	Ext. Slab	Recommended Floor Thickness	
Compressive strength - PSI	3000	3500	3500	4000	4"	Garages
Min. cement content per yard to meet ASTM C150	400 lb.	517 lb.		540 lb.	5"	Light Truck Garages
Max. Cement replaced by Class C fly ash - per yard (replaced at 1.5 x cement removed)	50 lb.	75 lb.			6"	Heavy Truck Garages Medium Forklift Traffic
Max. Aggregate size sound crushed rock or washed	1 1/4"				8"	Manufacturing and Heavy Duty Forklift Traffic
Water reducer added	Yes				All 6" or thicker concrete floors require certification that the prepared site and floor are capable of sustaining the design load	
Max. water/cement ratio	0.45	0.45	0.45	0.45	* Do not add Air Entrainment Admixtures unless floor is subjected to freeze/thaw conditions with moisture.	
Max. slump on job site ±1"	5"	4"	3"	3"		
Air content on the job site ±1%	-----	6%	*	6%		

(Owner's Signature)

(IF OWNER / OWNER'S CONTRACTOR IS DOING WORK)

5/13/2020
(Date)

(MBI's Masonry Subcontractor's Signature)

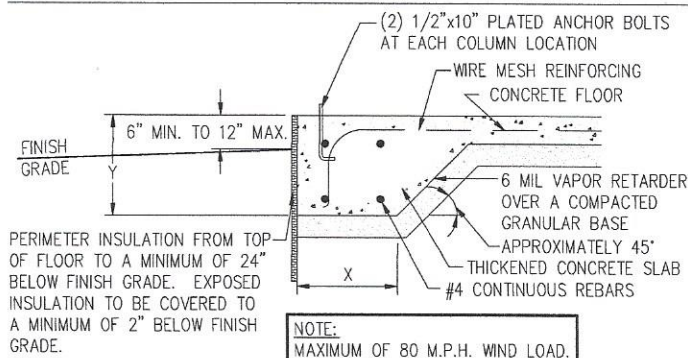
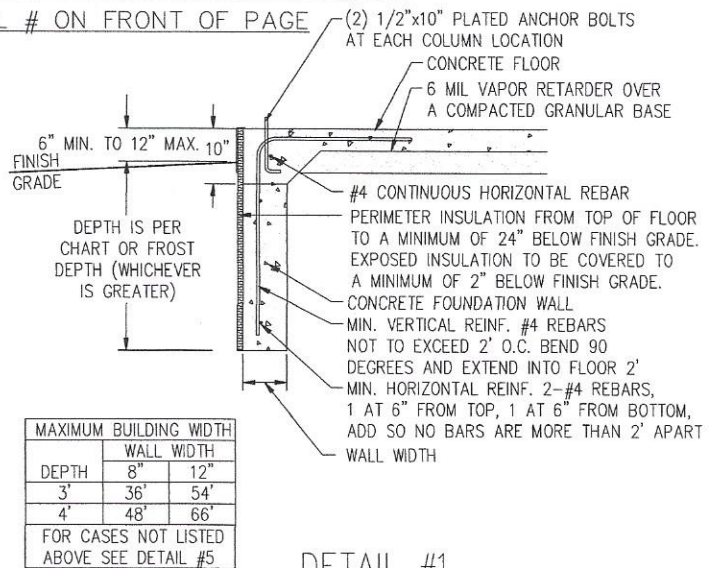
(Date)

(SIGN IN CONJUNCTION WITH FORM 40, 40S OR 40GT)

(FORM 222 ALSO REQUIRED FOR CONCRETE SPECIFICATIONS)

PLACE APPROPRIATE DETAIL # ON FRONT OF PAGE

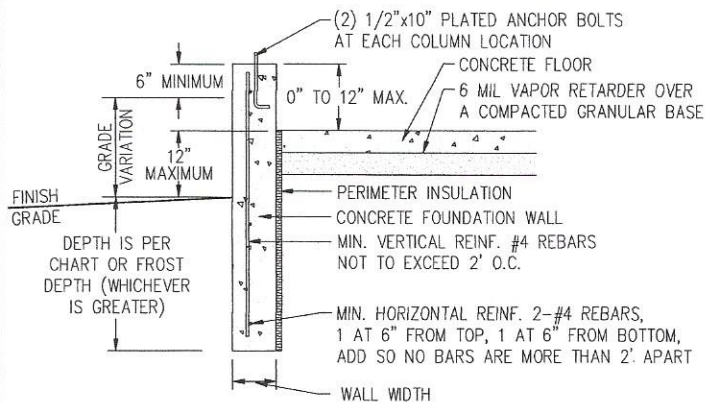
- 1.) BUILDINGS ON CONCRETE FOUNDATIONS MUST FALL WITHIN THE DIAPHRAGM LIMITATIONS SET IN THE MBI PRICE BOOK. THOSE OUTSIDE THE DIAPHRAGM LIMITATIONS MUST HAVE THEIR FOUNDATIONS DESIGNED FOR THE SPECIFIC APPLICATION.
- 2.) ANY CONCRETE FOUNDATION THAT EXCEEDS THE LIMITATIONS STATED ON THE FOLLOWING DETAILS MUST BE DESIGNED AND CERTIFIED BY A LOCAL DESIGNER (SUBMIT WITH ORDER) OR OBTAINED THROUGH THE DESIGN ESTIMATING GROUP PRIOR TO THE SALE OF THE PROJECT.
- 3.) ALL BUILDINGS WITH 2 STORIES OR OVER 16'-0" IN HEIGHT MUST HAVE THE FOOTINGS AND/OR FOUNDATIONS CHECKED FOR PROPER DESIGN THROUGH THE DESIGN ESTIMATING GROUP PRIOR TO THE SALE OF THE PROJECT.
- 4.) CONCRETE BLOCK (CMU) FOUNDATIONS ARE NOT RECOMMENDED.



BUILDING DESCRIPTION	X	Y	# OF REBARS
18'-36" SUBURBAN BUILDINGS (MAXIMUM 12' GRADE TO HEEL)	12"	18"	2
18'-48" WIDE BUILDINGS	18"	18"	4
BUILDINGS THROUGH 72' WIDE	28"	21"	6

NOTE:
VERIFY THAT DISTANCE FROM GROUND SURFACE TO BOTTOM
OF FOOTING MEETS CODE REQUIREMENTS.

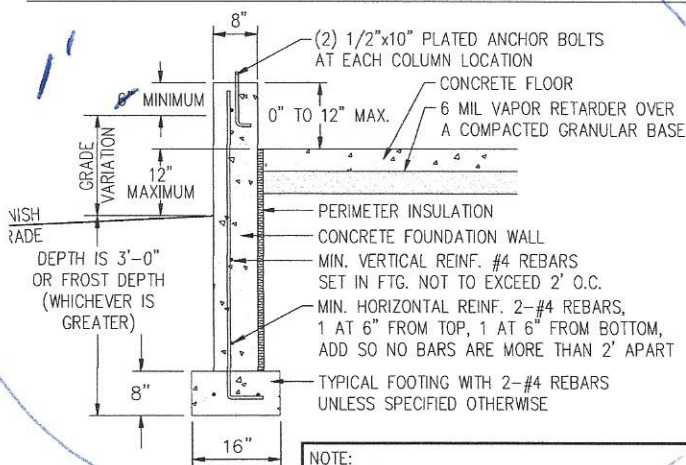
DETAIL #2



MAXIMUM BUILDING WIDTH		
DEPTH	WALL WIDTH	
	8"	12"
3'	36'	54'
4'	48'	66'
FOR CASES NOT LISTED ABOVE SEE DETAIL #4		

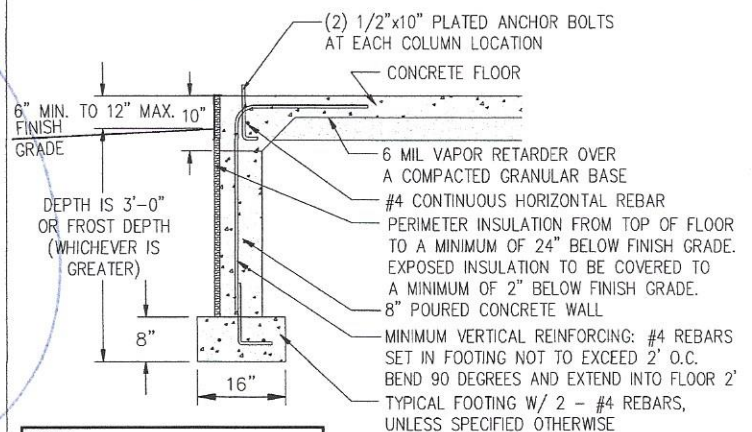
NOTE:
ANY WALL PORTION THAT EXTENDS ABOVE
THE TOP OF THE FLOOR SHOULD BE INSULATED.

DETAIL #3



NOTE:
ANY WALL PORTION THAT EXTENDS ABOVE
THE TOP OF THE FLOOR SHOULD BE INSULATED.

DETAIL #4



NOTES:
VERTICAL SPLICES SHALL BE LAPPED
THE LARGER OF 24" OR 40 BAR
DIAMETERS

DETAIL #5

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. Health & Human Services
Div of Environmental Health, 11 SHS
(207) 287-2070 Fax: (207) 287-4172

PROPERTY LOCATION		>> CAUTION: LPI APPROVAL REQUIRED <<	
City, Town, or Plantation	POLAND	Town/City	Permit #
Street or Road	1408 MAINE ST.	Date Permit Issued	Fee: \$ Double Fee Charged []
Subdivision, Lot #			L.P.I. #
OWNER/APPLICANT INFORMATION		Local Plumbing Inspector Signature _____ <input type="checkbox"/> Owner <input type="checkbox"/> Town <input type="checkbox"/> State	
Name (last, first, MI)	TAYLOR INVESTMENTS, LLC <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Applicant		
Mailing Address of Owner/Applicant	359 JOHNSON HILL RD. POLAND, ME 04274	The Subsurface Wastewater Disposal System shall not be installed until a Permit is issued by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the disposal system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.	
Daytime Tel. #	(207) 650-7752		
OWNER OR APPLICANT STATEMENT I state and acknowledge that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a Permit.		Municipal Tax Map # Lot #	
		CAUTION: INSPECTION REQUIRED I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules Application. (1st) date approved _____ Local Plumbing Inspector Signature (2nd) date approved _____	

PERMIT INFORMATION			
TYPE OF APPLICATION <input checked="" type="checkbox"/> 1. First Time System <input type="checkbox"/> 2. Replacement System Type replaced: _____ Year installed: _____ <input type="checkbox"/> 3. Expanded System a. <25% Expansion b. >25% Expansion <input type="checkbox"/> 4. Experimental System <input type="checkbox"/> 5. Seasonal Conversion	THIS APPLICATION REQUIRES <input checked="" type="checkbox"/> 1. No Rule Variance <input type="checkbox"/> 2. First Time System Variance a. Local Plumbing Inspector Approval b. State & Local Plumbing Inspector Approval <input type="checkbox"/> 3. Replacement System Variance a. Local Plumbing Inspector Approval b. State & Local Plumbing Inspector Approval <input type="checkbox"/> 4. Minimum Lot Size Variance <input type="checkbox"/> 5. Seasonal Conversion Permit	DISPOSAL SYSTEM COMPONENTS <input checked="" type="checkbox"/> 1. Complete Non-engineered System <input type="checkbox"/> 2. Primitive System (graywater & alt. toilet) <input type="checkbox"/> 3. Alternative Toilet, specify: _____ <input type="checkbox"/> 4. Non-engineered Treatment Tank (only) <input type="checkbox"/> 5. Holding Tank, _____ gallons <input type="checkbox"/> 6. Non-engineered Disposal Field (only) <input type="checkbox"/> 7. Separated Laundry System <input type="checkbox"/> 8. Complete Engineered System (2000 gpd or more) <input type="checkbox"/> 9. Engineered Treatment Tank (only) <input type="checkbox"/> 10. Engineered Disposal Field (only) <input type="checkbox"/> 11. Pre-treatment, specify: _____ <input type="checkbox"/> 12. Miscellaneous Components	
SIZE OF PROPERTY 2.53 <input type="checkbox"/> SQ. FT. <input checked="" type="checkbox"/> ACRES	DISPOSAL SYSTEM TO SERVE <input type="checkbox"/> 1. Single Family Dwelling Unit, No. of Bedrooms: _____ <input type="checkbox"/> 2. Multiple Family Dwelling, No. of Units: _____ <input checked="" type="checkbox"/> 3. Other: PLACE OF WORK W/ SHOWER (specify) Current Use <input type="checkbox"/> Seasonal <input type="checkbox"/> Year Round <input type="checkbox"/> Undeveloped	TYPE OF WATER SUPPLY <input type="checkbox"/> 1. Drilled Well <input type="checkbox"/> 2. Dug Well <input type="checkbox"/> 3. Private <input checked="" type="checkbox"/> 4. Public <input type="checkbox"/> 5. Other	

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)			
TREATMENT TANK <input checked="" type="checkbox"/> 1. Concrete a. Regular b. Low Profile <input type="checkbox"/> 2. Plastic <input type="checkbox"/> 3. Other: _____ CAPACITY: 1,000 GAL.	DISPOSAL FIELD TYPE & SIZE <input checked="" type="checkbox"/> 1. Stone Bed <input type="checkbox"/> 2. Stone Trench <input type="checkbox"/> 3. Proprietary Device a. cluster array <input type="checkbox"/> c. Linear b. regular load <input type="checkbox"/> d. H-20 load <input type="checkbox"/> 4. Other: _____ SIZE: 375 <input checked="" type="checkbox"/> sq. ft. <input type="checkbox"/> lin. ft.	GARBAGE DISPOSAL UNIT <input checked="" type="checkbox"/> 1. No <input type="checkbox"/> 2. Yes <input type="checkbox"/> 3. Maybe If Yes or Maybe, specify one below: <input type="checkbox"/> a. multi-compartment tank <input type="checkbox"/> b. _____ tanks in series <input type="checkbox"/> c. increase in tank capacity <input type="checkbox"/> d. Filter on Tank Outlet	DESIGN FLOW 125/144 gallons per day BASED ON: <input type="checkbox"/> 1. Table 4A (dwelling unit(s)) <input checked="" type="checkbox"/> 2. Table 4C (other facilities) SHOW CALCULATIONS for other facilities 5 PEOPLE X 25 GPD <input type="checkbox"/> 3. Section 4G (meter readings) ATTACH WATER METER DATA
SOIL DATA & DESIGN CLASS PROFILE CONDITION 51 B at Observation Hole # TP1 Depth 60" of Most Limiting Soil Factor	DISPOSAL FIELD SIZING <input checked="" type="checkbox"/> 1. Medium---2.6 sq. ft. / gpd <input type="checkbox"/> 2. Medium---Large 3.3 sq. ft. / gpd <input type="checkbox"/> 3. Large---4.1 sq. ft. / gpd <input type="checkbox"/> 4. Extra Large---5.0 sq. ft. / gpd	EFFLUENT/EJECTOR PUMP <input checked="" type="checkbox"/> Not Required <input type="checkbox"/> May Be Required <input type="checkbox"/> Required Specify only for engineered systems: DOSE: _____ gallons	LATITUDE AND LONGITUDE at center of disposal area Lat. 44 d 4 m 13.9 s Lon. 70 d 24 m 28.2 s if g.p.s, state margin of error: 9'

SITE EVALUATOR STATEMENT			
I certify that on 5-14-20 (date) I completed a site evaluation on this property and state that the data reported are accurate and that the proposed system is in compliance with the State of Maine Subsurface Wastewater Disposal Rules (10-144A CMR 241).			
Site Evaluator Signature Thomas B. Longley	SE # 217	Date 5-15-20	E-mail Address thongley@roadrunner.com
Site Evaluator Name Printed	Telephone Number (207) 754-4191		

Note: Changes to or deviations from the design should be confirmed with the Site Evaluator.

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Health & Human Services
Division of Environmental Health
(207) 287-5672 Fax: (207) 287-3165

Town, City, Plantation

Street, Road, Subdivision

Owner's Name

POLAND

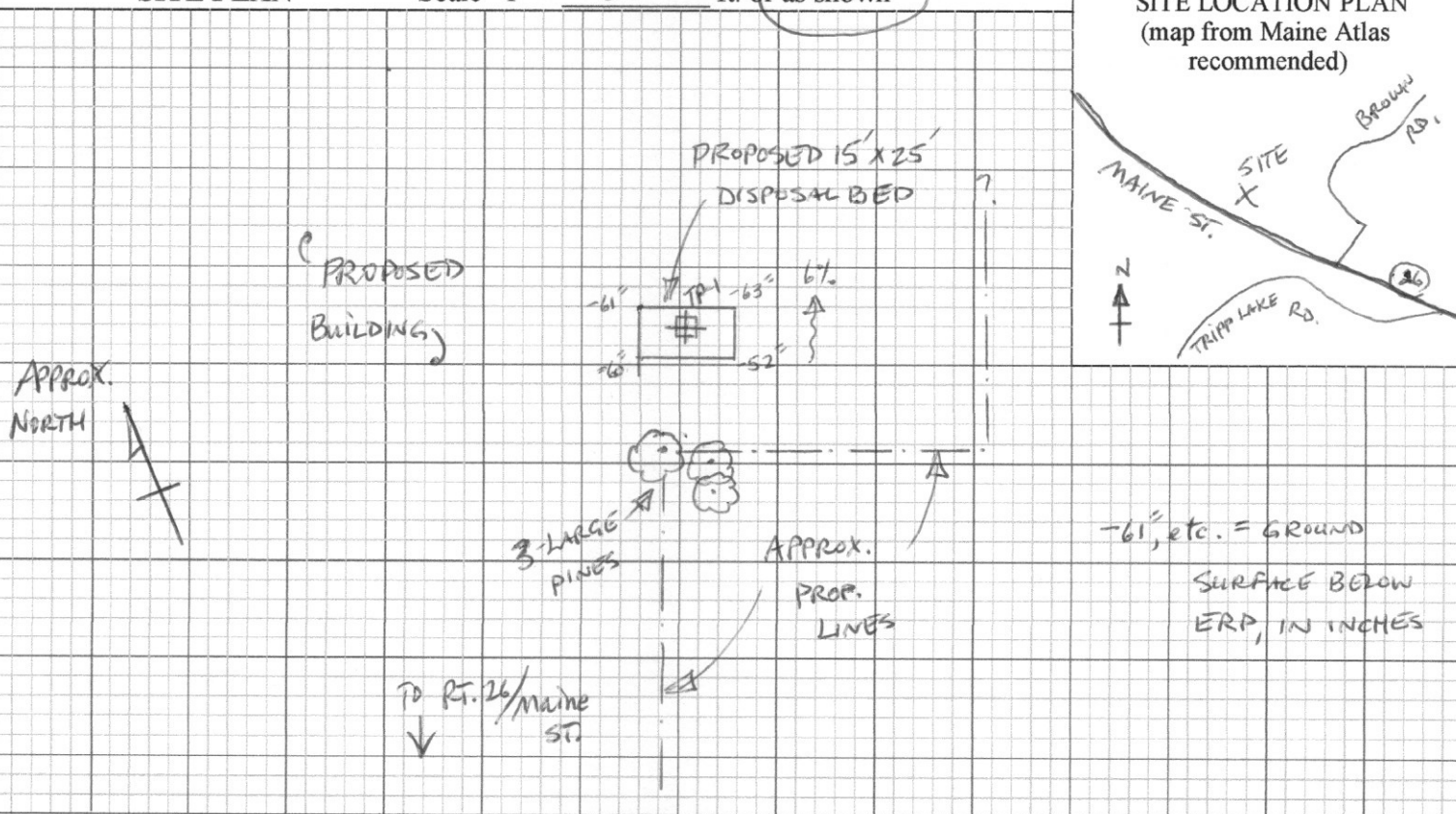
1408 MAINE ST.

TAYLOR INVESTMENTS, LLC

SITE PLAN

Scale 1" = ~50 ft. or as shown

SITE LOCATION PLAN
(map from Maine Atlas recommended)



SOIL DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)

Observation Hole TP-1 ☒ Test Pit ☐ Boring
0" Depth of Organic Horizon Above Mineral Soil

Texture	Consistency	Color	Mottling
0			
10	FINE	FRIABLE	Brownish
20	TO MEDIUM SAND	TO MOSE	YELLOW
30	STRATIFIED		
40			
50			

Observation Hole _____ ☐ Test Pit ☐ Boring
_____ " Depth of Organic Horizon Above Mineral Soil

Texture	Consistency	Color	Mottling
0			
10			
20			
30			
40			
50			

Soil Classification
5 B
Profile Condition

Slope
6 %

Limiting Factor
60" Pit Depth

Soil Classification
Profile Condition

Slope
%

Limiting Factor
" Pit Depth

Site Evaluator Signature

SE #

Date

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Health & Human Services
Division of Environmental Health
(207) 287-5672 Fax: (207) 287-3165

Town, City, Plantation

POLAND


Street, Road, Subdivision

1408 MAINE ST.

Owner's Name

TAYLOR INVESTMENTS, LLC

SUBSURFACE WASTEWATER DISPOSAL PLAN

0 
SCALE: 1" = 20 FT.

Approx.
NORTH

25' X 15' DISPOSAL BED
WITH 2 EQUALLY SPACED
4" DIAMETER PERFORATED
LINES, EACH 15' LONG
& CONNECTED AT ENDS

Flow FROM TANK - KEEP
TANK MIN. 8' FROM
BUILDING

3-LARGE PINES

APPROX. PROP. LINES
SHOWN

ERP - NAIL IN
BASE OF 24"
DIA. PINE, AT
9" ABOVE GROUND

FILL REQUIREMENTS

Depth of Fill (Upslope) 0"
Depth of Fill (Downslope) 0"

CONSTRUCTION ELEVATIONS

Finished Grade Elevation -69"
Top of Distribution Pipe or Proprietary Device -82"
Bottom of Disposal Area -93"

ELEVATION REFERENCE POINT (ERP)

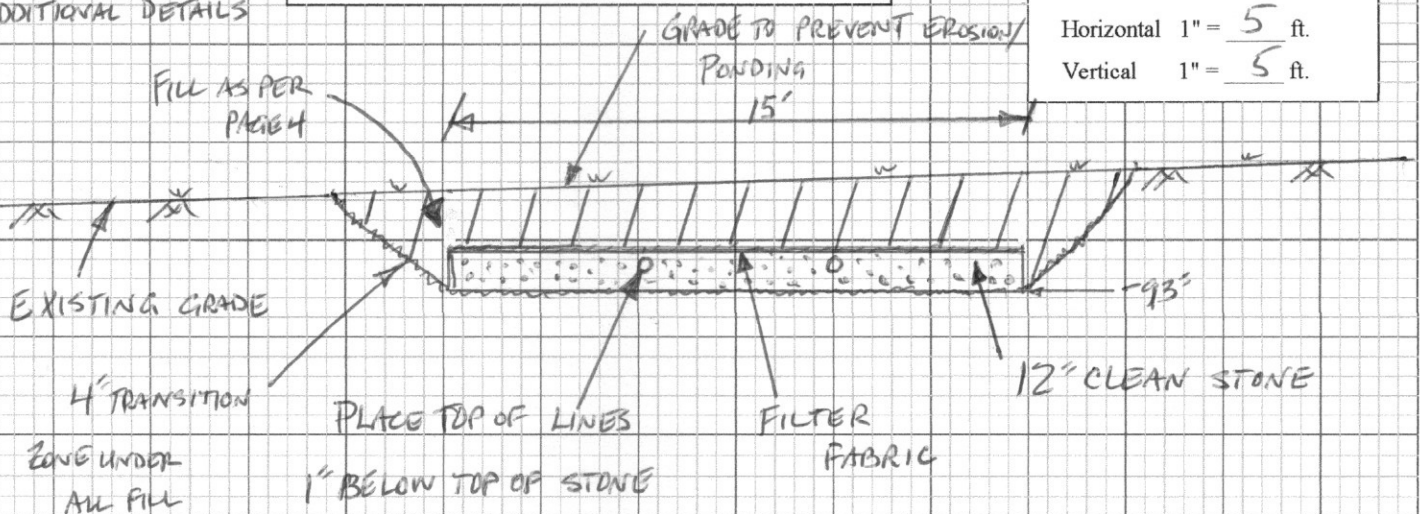
Location & Description:
FLAGGED NAIL IN TREE
Reference Elevation: NAIL = 0"

PAGE 4 HAS
ADDITIONAL DETAILS

DISPOSAL AREA CROSS SECTION

Scale

Horizontal 1" = 5 ft.
Vertical 1" = 5 ft.



Site Evaluator Signature

SE #

Date

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

POLAND

Town, City, Plantation

1408 MAINE ST.

Street, Road, Subdivision

TAYLOR INVESTMENTS, LLC

Owner's Name

1. The most current revision of the Maine Subsurface Wastewater Disposal Rules (Rules), 10-144 CMR 241, is hereby made a part of this HHE-200 form and shall be consulted by the disposal system installer prior to installation of the disposal system. See especially Sections 11(F/G) of the Rules as they relate to the construction of disposal areas.
2. This application is based on the minimum Rules requirements for separation distances, setback distances, lot size requirements, etc., and is intended to represent facts pertinent to the Rules. There may be more stringent local requirements for which the owner/applicant is responsible for ensuring that this is an acceptable site. Property lines, utility lines, existing subsurface structures, intended present and future use of the system, etc., are shown/reported and based on information provided by the owner/applicant or his agent. It is the responsibility of the owner/applicant or his agent to confirm the above information or other features/circumstances that may affect the installation of the system.
3. In areas adjacent to a water body or wetland, preventive erosion and sediment control measures must be employed and must be consistent with Section 12 of the Rules.
4. Vegetation must be cut and removed from where all fill material is to be placed. The area under all filled areas and backfill extensions must be plowed or disked (parallel to the topographic contours) to a depth of 6-8 inches to produce a thoroughly roughened/scarified surface. On sites where the fill material is coarser than the original soil, a minimum of 4-inches of fill material must be mixed into the original soil to form a transition horizon. All backfill material shall be clean, coarse sand to gravelly coarse sand (see Section 11 E of the Rules) for a minimum of 3-feet around the disposal bed and may be clean, gravelly loamy sand for the remainder of the fill. All fill shall be placed in 8-inch compacted lifts. Septic and pump tanks should have access risers to inlet and outlet manholes set to grade over the manholes. Tanks must be bedded on a 4-inch minimum layer of clean sand, gravel or stone. Section 6(H) of the Rules has additional tank installation requirements. Distribution boxes should be insulated and must be installed such that shifting due to settling/frost is minimized.
5. The disposal field stone (for stone beds or wherever specified) shall be clean, uniform in size (3/4" to 1-1/2") and be free of fines, dust, ashes or clay, and shall conform to one of the nominal stone sizes listed in Table 11B of the Rules. The stone shall be covered with a filter fabric that overlaps a minimum of 6-inches at the edges, or 2 inches of hay. The minimum physical properties of the fabric shall be 4.0 ounces per square yard (per ASTM D-3776).
6. Excavation shall be carried out in a manner that will avoid unnecessary compaction of both the sidewalls and bottom area. Any smeared or compacted portions of these must be scarified to reopen soil pores. Work should be scheduled so that excavated areas are not exposed to rainfall or to wind-blown silt. Disposal fields should not be installed in frozen ground or in wet conditions.
7. Proprietary devices shall be installed per the manufacturer's instructions. Installation manuals for the different proprietary devices must be obtained and followed during construction when using these devices.
8. At least 4-inches of suitable soil for the establishment of a good vegetative cover shall be placed over the entire filled areas (fill being a minimum of 8-inches thick above the filter fabric or proprietary device) including the fill material extensions. Immediately after the completion of final grading, the fill material surface shall be stabilized by mulching and seeding, or by sod, to establish a good vegetative cover to prevent erosion. Final grading shall be completed in such a manner so that surface water is diverted away from the disposal field site to prevent ponding or erosion on or near the disposal field. The final grade/cover of the system shall have a 3% crown, 3-foot wide extensions/shoulders of this crown around the bed on all sides, and 4:1 fill extensions grading back to existing ground surface. Typically, final as-built elevations of the disposal area may be physically higher but not lower than those given. If elevations are raised, call the septic designer prior to construction.
9. Do not flush the following into your septic system: coffee grounds, dental floss, disposal diapers, kitty litter, sanitary napkins, tampons, cigarette butts, condoms, gauze bandages, fat, grease, oil, paper towels, paints, varnishes, thinners, waste oils, photographic solutions or pesticides.

For Proprietary Products:

I have no affiliation or monetary interests with any proprietary products or manufacturers. I have designed the septic system using products that are known and trusted in the industry.


Site Evaluator

217
SE #

5-15-20
Date

**JONES
ASSOCIATES**
Foresters, Surveyors and
Environmental Consultants



June 15, 2020

AGENT AUTHORIZATION LETTER

Subject: Taylor Investments, LLC
359 Johnson Hill Road, Poland, Maine 04272

To whom it may concern,

Jones Associates, Inc., 280 Poland Spring Road, Auburn, Maine 04210 is authorized as agent for Glenn Bolduc in matters of permitting for the project at 1408 Maine Street in Poland, Maine.

Sincerely,

Glenn Bolduc

280 Poland Spring Road
Auburn, Maine 04210
(207) 241-0235

MORTON BUILDINGS GENERAL SPECIFICATIONS

LAMINATED COLUMNS - NO. 1 OR BETTER SOUTHERN YELLOW PINE NAIL LAMINATED 3 MEMBER S4S COLUMNS NAILED 8" O.C. STAGGERED ON EACH SIDE WITH 4" NAILS.

ANCHORED ON CONCRETE - COLUMNS ARE ATTACHED TO CONCRETE BY USE OF 1/4" H.R. STEEL COLUMN SOCKETS. EACH SOCKET IS FASTENED TO THE CONCRETE BY TWO 1/2" DIA. x 10" PLATED ANCHOR BOLTS AND COLUMN IS FASTENED TO SOCKET BY (4) 1/2"x6" M. BOLTS & (8)1/4"x2 1/2" POWER LAG WASHER HEAD YELLOW ZINC SCREWS.

TREATED LUMBER -- PRESSURE PRESERVATIVE TREATED LUMBER OTHER THAN LAMINATED COLUMNS ARE NO. 1 OR BETTER SOUTHERN YELLOW PINE AND CENTER MATCHED OR NOTCHED AND GROOVED OR S4S. PRESSURE TREATMENT TO GROUND CONTACT RETENTION WITH PRESERVATIVE TREATMENT COMPLYING WITH USE CATEGORY UC4B (AWPA OR ICC-ES) AND IN COMPLIANCE WITH USEPA GUIDELINES AND STANDARDS.

FRAMING LUMBER - SIDING NAILERS ARE 2x4 S4S OR 2x6 SPF NO. 2 OR BETTER SPACED APPROXIMATELY 36" O.C. WITH ALL JOINTS STAGGERED AT ATTACHMENT TO COLUMNS. ROOF PURLINS ARE 2x4 S4S NO. 2 OR BETTER ON EDGE SPACED APPROXIMATELY 24" O.C. ALL OTHER FRAMING LUMBER IS NO. 2 OR BETTER.

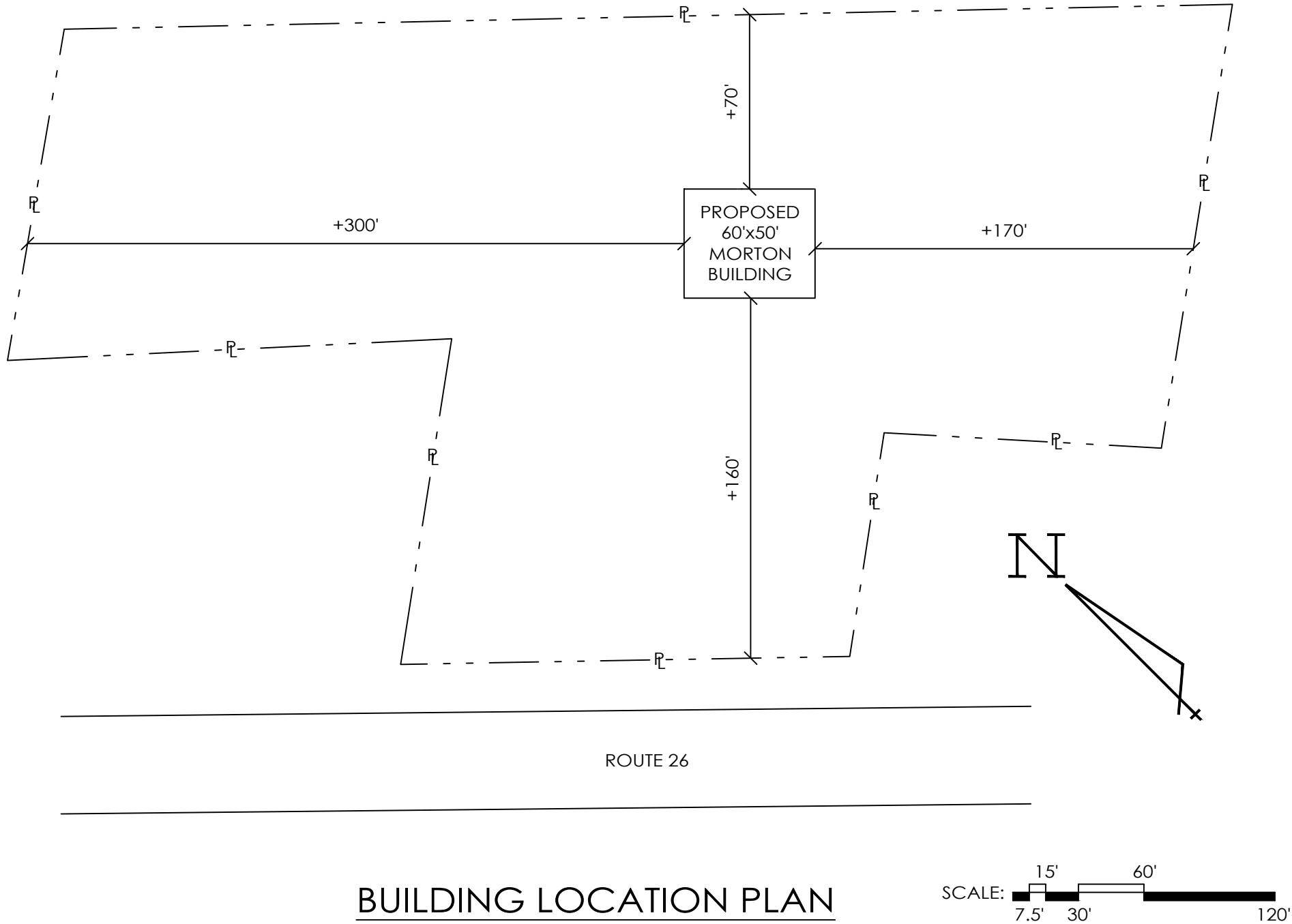
ROOF TRUSSES - FACTORY ASSEMBLED WITH 18 OR 20 GAUGE GALVANIZED STEEL TRUSS PLATES AS REQUIRED AND KILN DRIED LUMBER AS SPECIFIED, IN-PLANT QUALITY CONTROL INSPECTION IS CONDUCTED UNDER THE AUSPICES OF THE TPI INSPECTION BUREAU. TRUSSES ARE DESIGNED IN ACCORDANCE WITH CURRENT STANDARDS AND SPECIFICATIONS FOR THE STATED LOADING.

SIDING PANELS & ROOFING (FLUOROFLEX 1000™) - 0.019" MIN., G90 GALVANIZED OR AZ55 GALVALUME STEEL WITH AN ADDITIONAL BAKED-ON 70% PVDF FINISH WITH A NOMINAL 1 MIL. PAINT THICKNESS ON EXTERIOR.

TRIM - DIE-FORMED TRIM OF 0.017" MIN., G90 GALVANIZED OR AZ55 GALVALUME STEEL ON GABLES, RIDGES, CORNERS, BASE WINDOWS, AND DOORS WITH SAME FINISH AS ROOFING OR SIDING PANELS.

DESIGN AND EXPLANATORY NOTES

- 1.) ALL PLOT PLANS AND RELATED DETAILS SHALL BE PROVIDED BY OWNER UNLESS INCORPORATED AS PART OF THESE DRAWINGS.
- 2.) MORTON BUILDINGS GENERAL SPECIFICATIONS APPLY UNLESS INDICATED DIFFERENTLY ON SPECIFIC JOB DRAWINGS OR SUPPLEMENTAL INFORMATION.
- 3.) NO ONE MAY ALTER ANY ENGINEERING ITEM UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED / REGISTERED ENGINEER .
- 4.) ♦ THE PRECEDING SYMBOL IDENTIFIES ITEMS THROUGHOUT THE PLANS THAT ARE NOT PROVIDED BY MORTON BUILDINGS, INC. OR MORTON BUILDINGS' SUBCONTRACTORS AND ARE THE OWNER'S RESPONSIBILITY.



BUILDING LOCATION PLAN

BUILDING DESIGN CRITERIA	
USE GROUP	S-1
CONSTRUCTION TYPE	VB
RISK CATEGORY	II
BUILDING AREA	3000 SQ. FT.
MIN. LIVE ROOF LOAD DESIGN	SEE NOTE #3
ROOF SNOW LOAD *	53 PSF
GROUND SNOW LOAD	80 PSF
WIND SPEED (VULT)	115 MPH
WIND SPEED (Vasd)	89 MPH
FLOOR LOAD	125 PSF

I HEREBY CERTIFY THAT THE STRUCTURAL DESIGN FOR THIS BUILDING WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED/REGISTERED PROFESSIONAL ENGINEER.

MICHAEL L. MCCORMICK, P.E.
milmccormick@allieddesignaes.com
DATE: _____ REG.# _____

*ROOF SNOW LOAD CALCULATIONS

$P_f = 0.7 \times C_e \times I \times P_g \times C_t$
 C_e = SNOW EXPOSURE FACTOR = 1.0
 I = IMPORTANCE FACTOR = 1.0
 P_g = GROUND SNOW LOAD = 80 PSF
 C_t = THERMAL FACTOR = 1.1
 $P_f = 0.7 \times 1.0 \times 1.0 \times 80 \times 1.1 = 61.60$ PSF
 C_s = ROOF SLOPE FACTOR = 0.86
 $P_s = P_f \times C_s = 61.60 \times 0.86 = 52.98$ PSF

CURRENT LUMBER SPECIFICATIONS (06-01-2013)		
SIZE	DESCRIPTION	BENDING VALUE Fb
2x4	NO. 2 SPF	1313 PSI
2x4	NO. 1 SYP	1500 PSI
2x4	2100f MSR SPF	2100 PSI
2x6	NO. 2 SPF	1138 PSI
2x6	NO. 1 SYP	1350 PSI
2x6	2100f MSR SPF	2100 PSI
2x6	2400 MSR SYP	2400 PSI
2x8	NO. 1 SYP	1250 PSI
2x8	2400 MSR SYP	2400 PSI
2x10	NO. 1 SYP	1050 PSI
2x10	2400 MSR SYP	2400 PSI
2x12	NO. 1 SYP	1000 PSI
2x12	2250f MSR SYP	2250 PSI
1 1/2"x16"	LAMINATED VENEER LUMBER	2800 PSI
3 1/2"x15"	GLU-LAM	1650 PSI
5 1/4"x16 1/2"	GLU-LAM	2400 PSI
5 1/4"x19 1/2"	GLU-LAM	2400 PSI

SHEET INDEX	
SHEET#	DESCRIPTION
G1 OF G1	SPECIFICATIONS & SHEET INDEX
SF1 OF SF2	FOUNDATION PLAN
SF2 OF SF2	FOUNDATION DETAILS
S1 OF S8	COLUMN PLAN
S2 OF S8	TRUSS PLAN & DETAILS
S3 OF S8	TRUSS DRAWING & DETAILS
S4 OF S8	ELEVATIONS
S5 OF S8	SECTIONS & DETAILS
S6 OF S8	SECTIONS
S7 OF S8	SECTIONS & DETAILS
S8 OF S8	DETAILS

OFFICE:
MANCHESTER, NH
JOB NO.
118-098187

SPRUCE BAY FARM & LANDSCAPE INC.

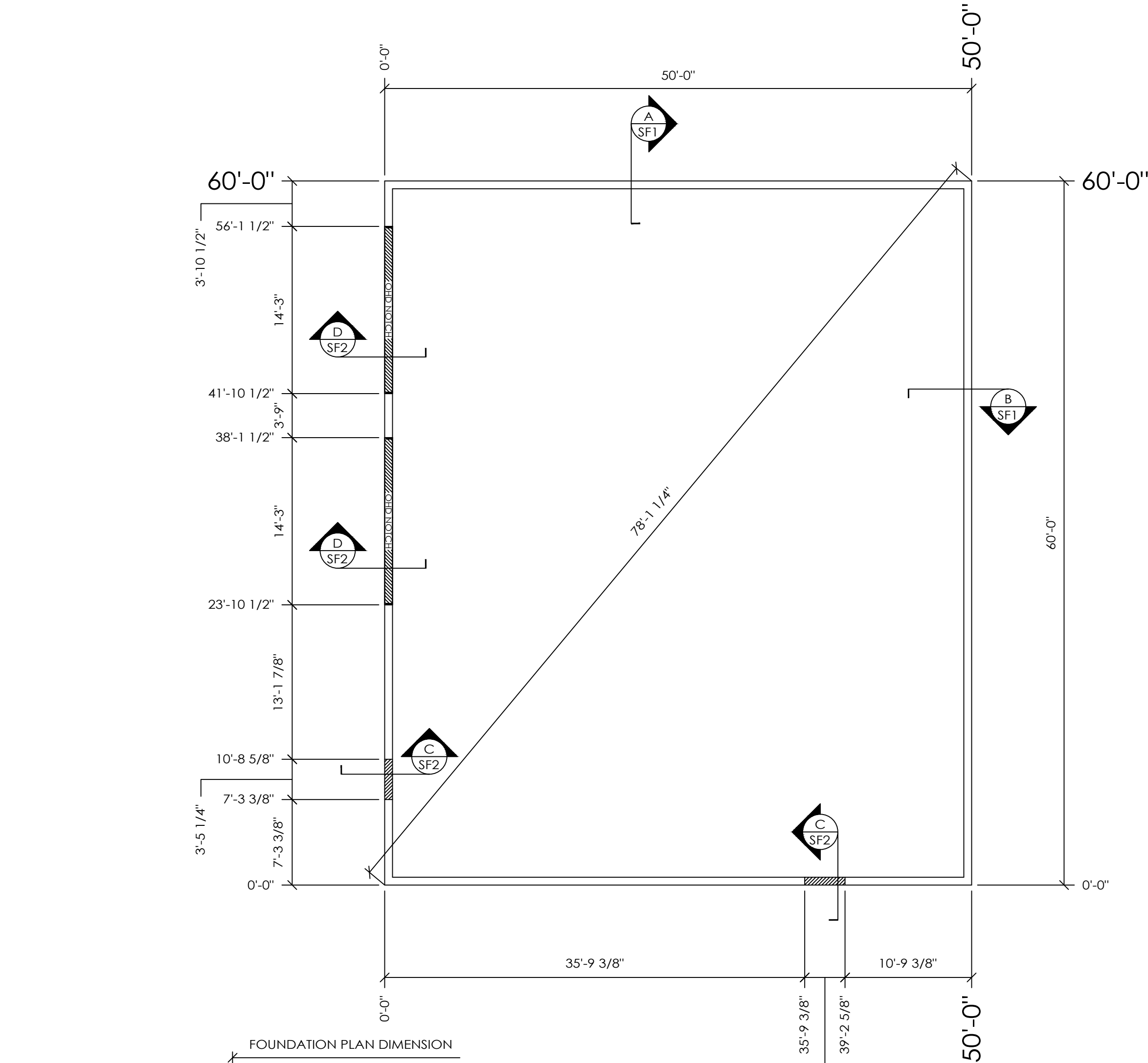
POLAND, ME

ME
ALLIED DESIGN ARCHITECTURAL & ENGINEERING GROUP, P.C.
100 S. PERSHING P.O. BOX 110 MORTON, IL 61550
PHONE NUMBER: 309-263-4105

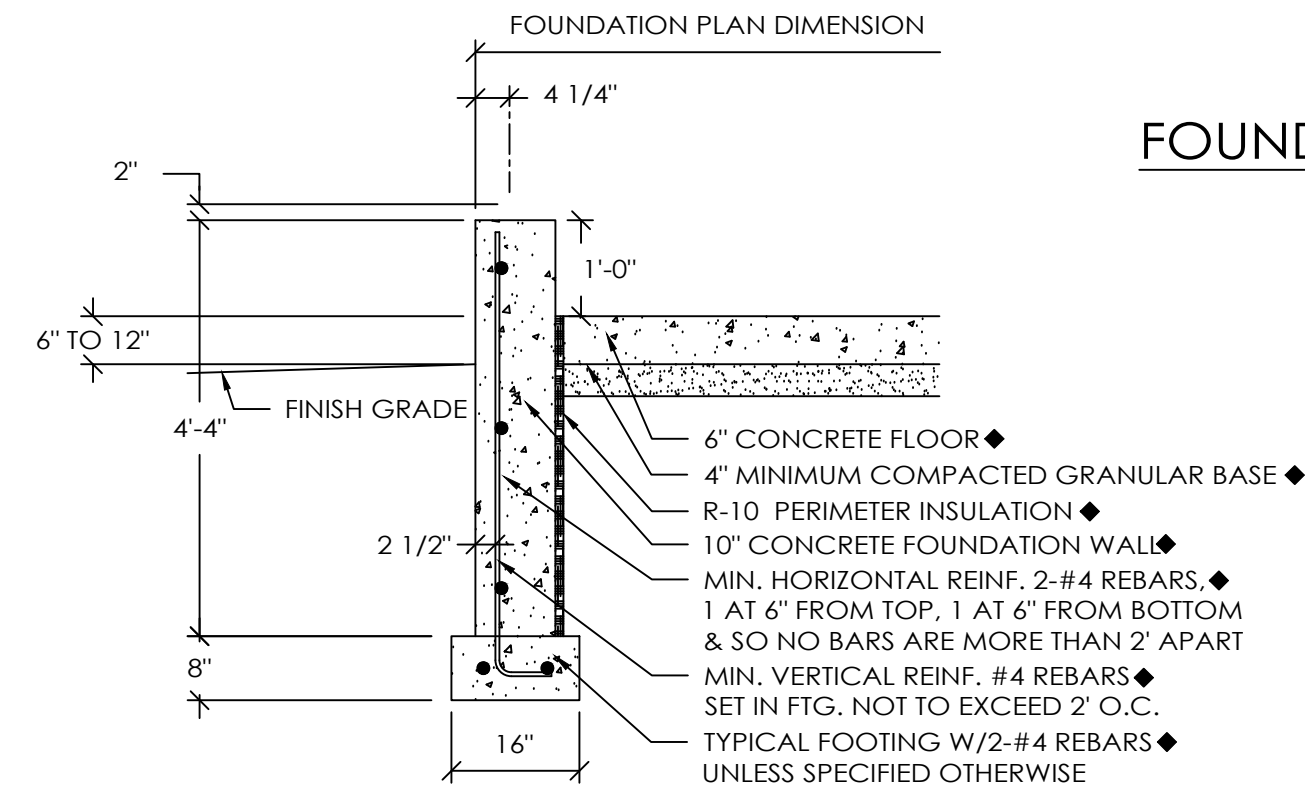
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DATE:	5/29/2020
CHECKED BY:	WLM
DATE:	6/11/2020
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TARGET DATE:

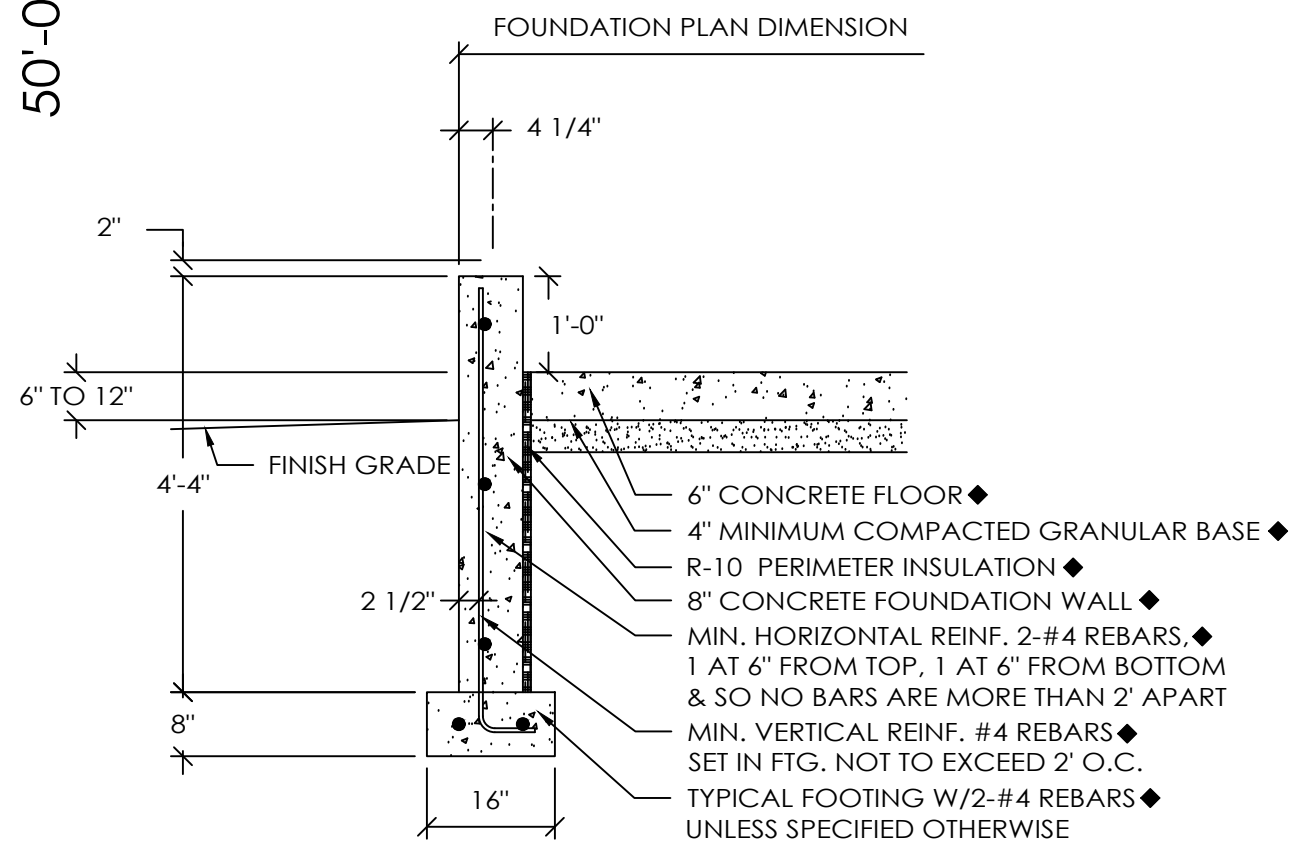
SCALE: AS NOTED
SHEET NO.
G1 OF G1



FOUNDATION PLAN



FOUNDATION SECTION A
SCALE: 1/2" = 1'-0"



FOUNDATION SECTION B
SCALE: 1/2" = 1'-0"

DESIGN AND EXPLANATORY NOTES

1.) FOOTINGS ARE DESIGNED FOR A 2000 PSF SOIL BEARING CAPACITY. LOCAL CONDITIONS MAY REQUIRE MODIFICATIONS.

2.) CONCRETE FLOOR NOTES:

- 3500 PSI, 5 1/2 BAG MIX CONCRETE
- SLOPE GRADE AWAY FROM BUILDING @ 1" PER FOOT FOR A MINIMUM DISTANCE OF 10' PLUS OVERHANG WIDTH
- A VAPOR RETARDER IS NOT MANDATED PER IBC SECTION 1910 EXCEPTION 3. UNLESS THE FLOOR WILL BE COVERED BY MOISTURE SENSITIVE FLOORING MATERIALS OR IMPERMEABLE FLOOR COATINGS OR WHERE THE FLOOR WILL BE IN CONTACT WITH ANY MOISTURE SENSITIVE EQUIPMENT OR PRODUCT
- CONTRACTION JOINTS UNIFORMLY SPACED 12' O.C. OR LESS

3.) CONCRETE FOUNDATION NOTES:

- CONCRETE & REINFORCING BAR SPECIFICATIONS:
 - 3500 PSI, 5 1/2 BAG MIX
 - GRADE 60, DEFORMED REINFORCING BARS
- VERTICAL REINFORCING:
 - HOOK VERTICAL REINFORCING 8" MINIMUM IN FOOTING
 - SPLICE LENGTH SHALL BE 12" MINIMUM
 - COVER SHALL BE 2 1/2" MINIMUM
- HORIZONTAL REINFORCING:
 - HORIZONTAL REINFORCING SHALL BE CONTINUOUS OR PROPERLY SPLICE AROUND ALL CORNERS
 - SPLICE LENGTH SHALL BE 12" MINIMUM
 - COVER SHALL BE 3" MINIMUM

4.) NOTCH WALL DOUBLE THE THICKNESS OF THE INTERIOR FLOOR PLUS THE HEIGHT OF THE WALL ABOVE THE FLOOR (IF APPLICABLE). NOTCH WALL 8" DEEP AT DOOR OPENING.

5.) LANDING & THRESHOLD:

- ALL DOORS REQUIRED TO BE ACCESSIBLE & SHALL BE PROVIDED WITH LEVER HANDLES OR PUSH/PULL HARDWARE.
- ALL DETAILS SHALL CONFORM TO A117.1
- ACCESSIBLE ROUTES SHALL BE BY HARD, FIRM, AND SLIP RESISTANT SURFACES AND SHALL HAVE SLOPES OF LESS THAN 1:20
- DOOR CLOSERS AND GATE CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM.
- THE MAXIMUM FORCE FOR PUSHING OR PULLING OPEN ACCESSIBLE INTERIOR HINGED DOORS SHALL BE 5 LB/FT.
- HARDWARE REQUIRED FOR ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED 34" MINIMUM TO 48" MAXIMUM ABOVE THE FINISHED FLOOR.

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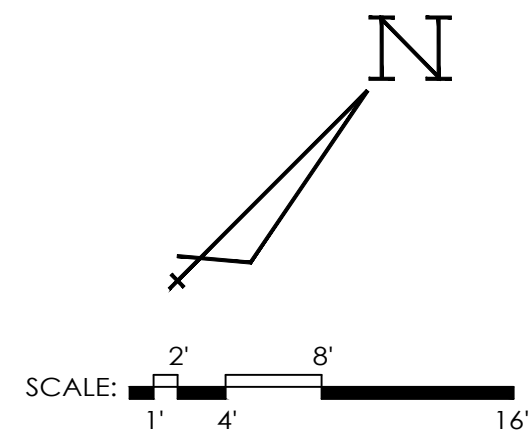
ME
ALLIED DESIGN ARCHITECTURAL & ENGINEERING GROUP, P.C.
100 S. PERSHING P.O. BOX 110 MORTON, IL 61550
PHONE NUMBER: 309-263-4105

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TARGET DATE:

SCALE: AS NOTED

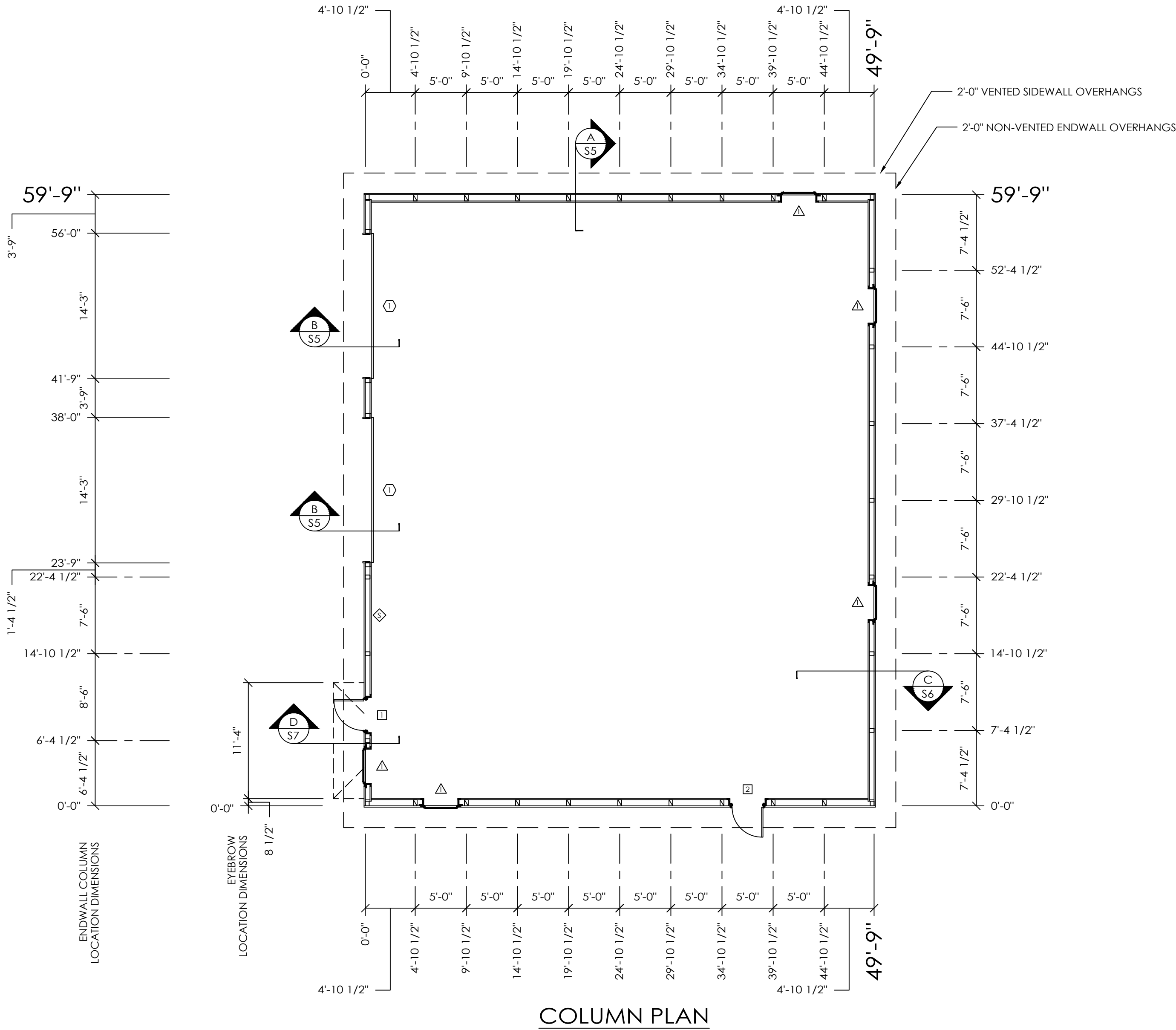
SHEET NO.
SF1 OF SF2



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DATE:	6/11/2020
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SHEET NO. S1 OF S8

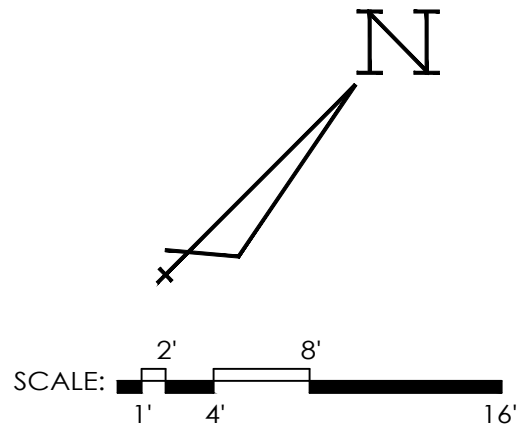


COLUMN PLAN

COLUMN PLAN LEGEND

- 3-2x6 LAMINATED COLUMN LOCATION
- 3-2x8 LAMINATED COLUMN LOCATION
- 3068 9-LITE TEMPERED GLASS IN LEAF WITH EMBOSSED CROSSBUCK FIBERSTEEL WALKDOOR, OUT SWING, LEFT HINGE WITH INTERCONNECTED LEVER LOCKSET/DEADBOLT, CLOSER
- 3068 9-LITE TEMPERED GLASS IN LEAF WITH EMBOSSED CROSSBUCK FIBERSTEEL WALKDOOR, OUT SWING, RIGHT HINGE WITH INTERCONNECTED LEVER LOCKSET/DEADBOLT, CLOSER
- (5) 3440 MB SINGLE HUNG WINDOWS WITH GRIDS BETWEEN GLASS
- (2) 14'-2"x14'-1" OVERHEAD DOORS
- (1) 3'-6"x3'-6" NON-FUNCTIONAL CUPOLA WITH 'M' 30" WEATHERVANE
- (2) 30x30 ATTIC ACCESS PANELS (VERIFY LOCATION)
- ALL STEEL FASTENED WITH STAINLESS STEEL SCREWS
- 7/16" OSB SHEARWALL LOCATION (SEE DETAILS ON SHEET S8)

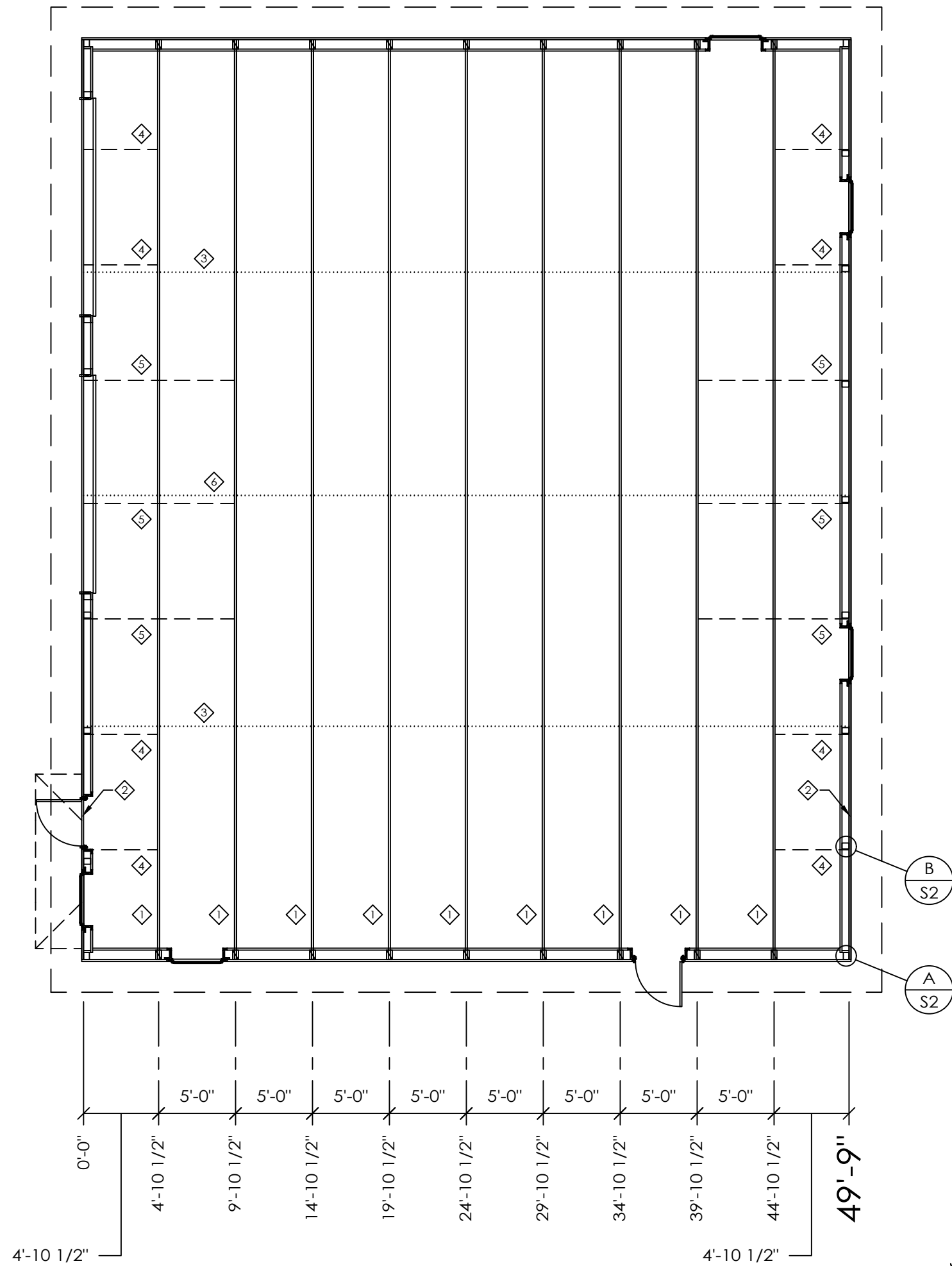
ROUGH OPENING SCHEDULE		
UNIT SYMBOL FROM LEGEND	WIDTH	HEIGHT
1	38 1/4"	81"
2	38 1/4"	81"
△	40 1/4"	48 1/4"



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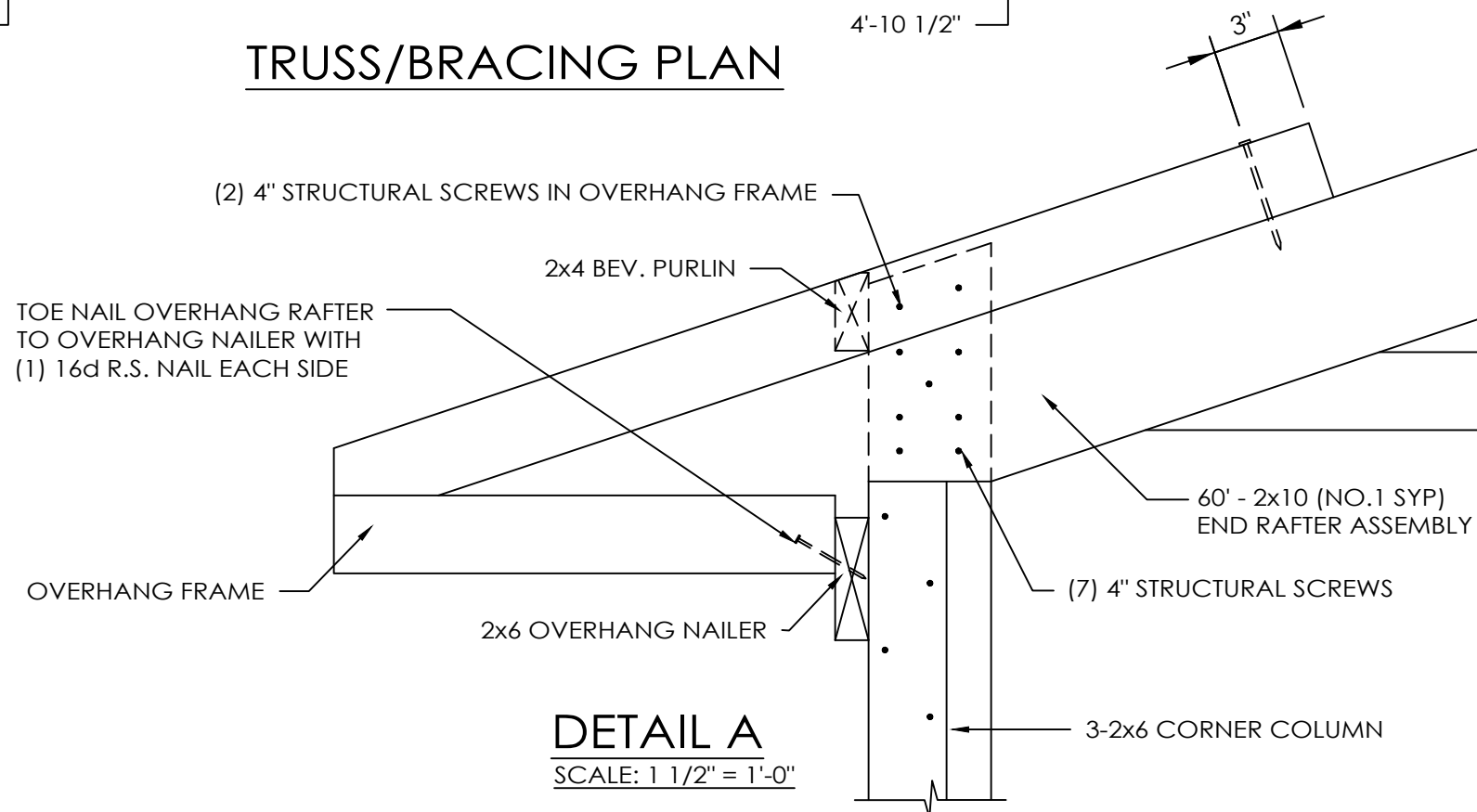
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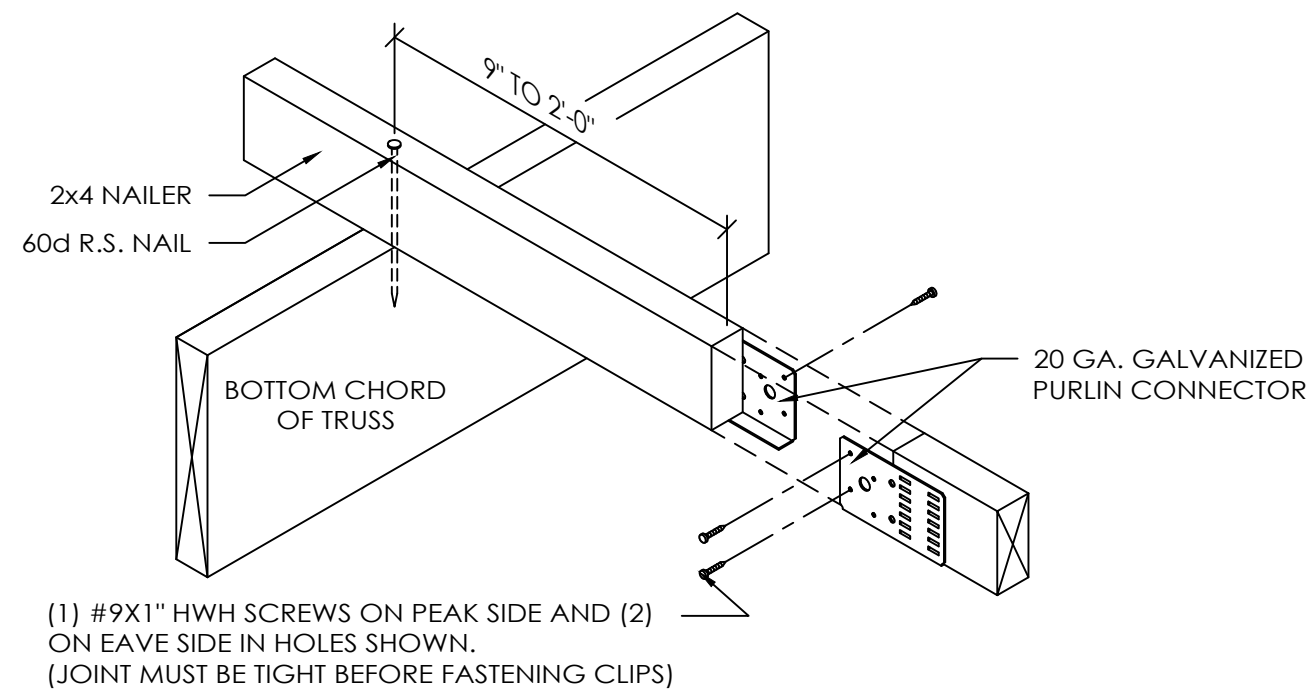
TRUSS/BRACING PLAN

TRUSS/BRACING PLAN LEGEND

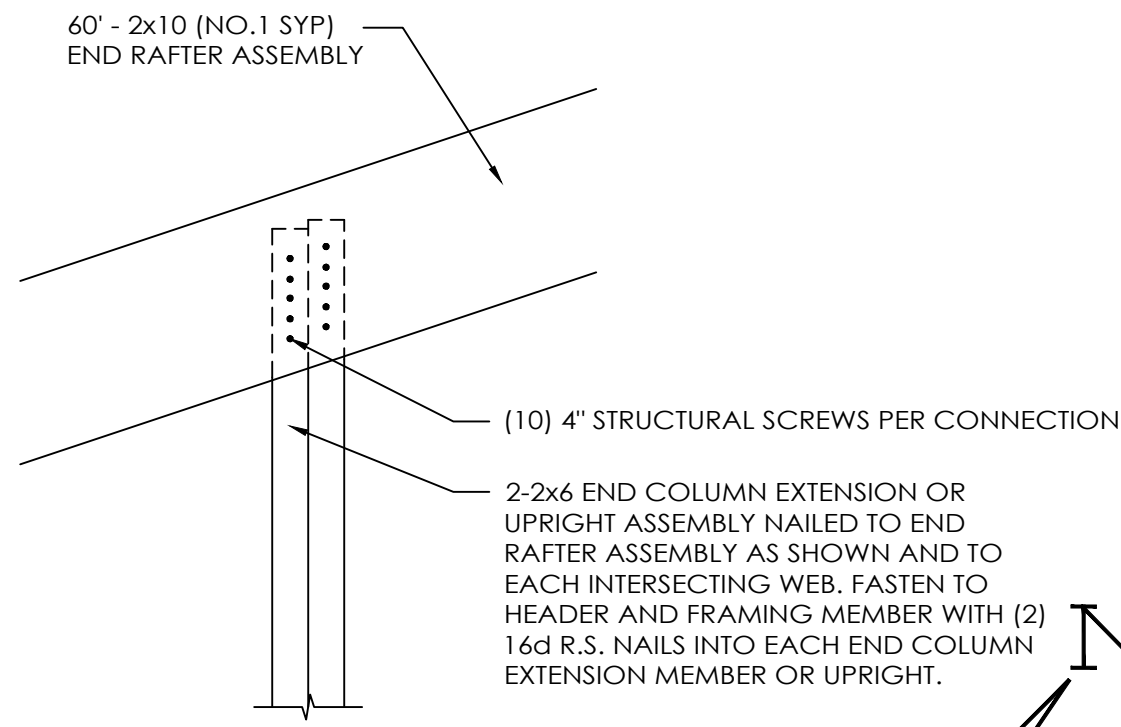
- ◇ - 60' 2090 S.C. TRUSSES
- ◇ - 60' END RAFTER ASSEMBLY
- ◇ - 2x4 TRUSS TIES
- ◇ - 2x6 DIAGONAL END BRACES (TO EXTEND TO FIRST TRUSS IN FROM ENDWALL)
- ◇ - 2x6 DIAGONAL X-BRACING (TO EXTEND TO SECOND TRUSS IN FROM ENDWALL)
- ◇ - 2x6 FLAT TRUSS TIE CENTERED IN BUILDING



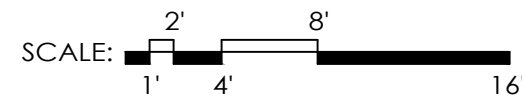
DETAIL A
SCALE: 1 1/2" = 1'-0"

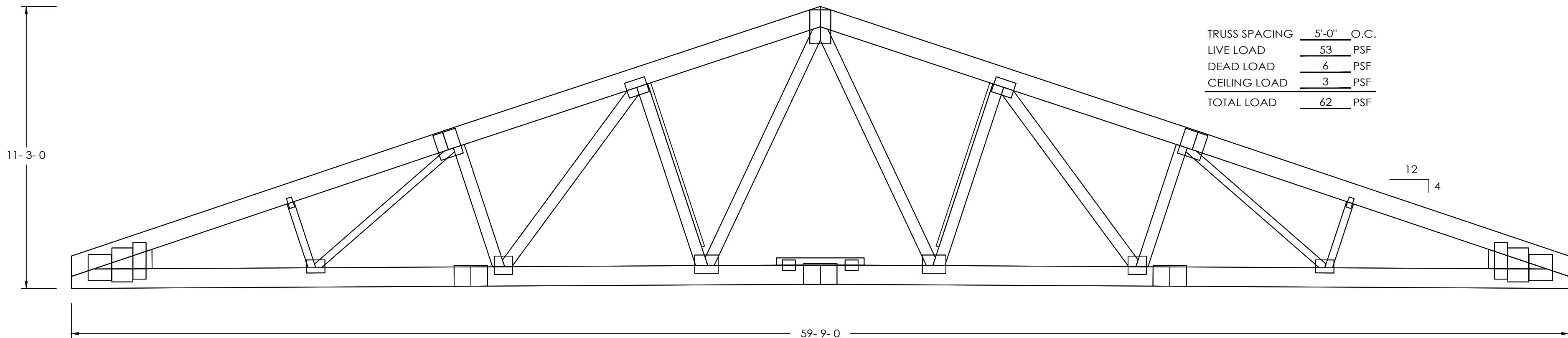


2x4 TRUSS TIE DETAIL

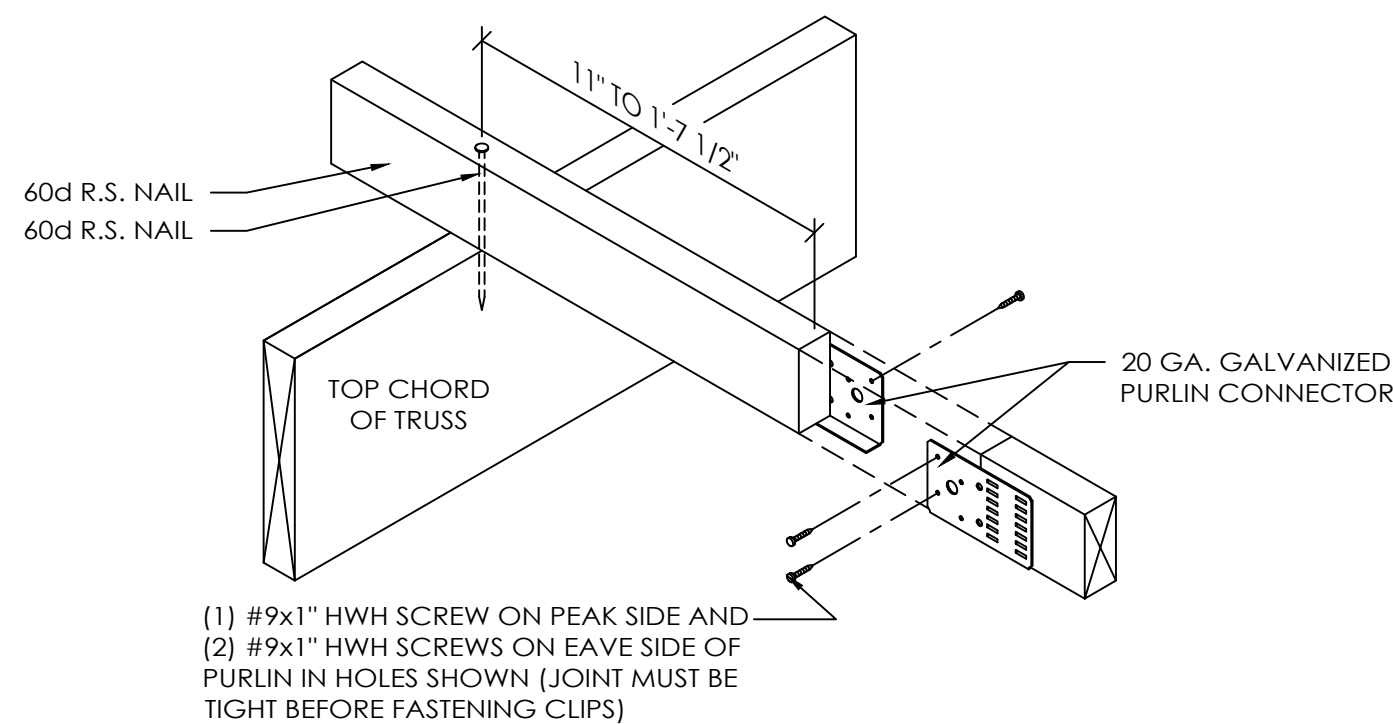


DETAIL B
SCALE: 1 1/2" = 1'-0"





60' S.C. 2090 (4116) TRUSS
SCALE: 5/16" = 1'-0"



2x4 BUTTED PURLIN DETAIL
SCALE: 1 1/2" = 1'-0"

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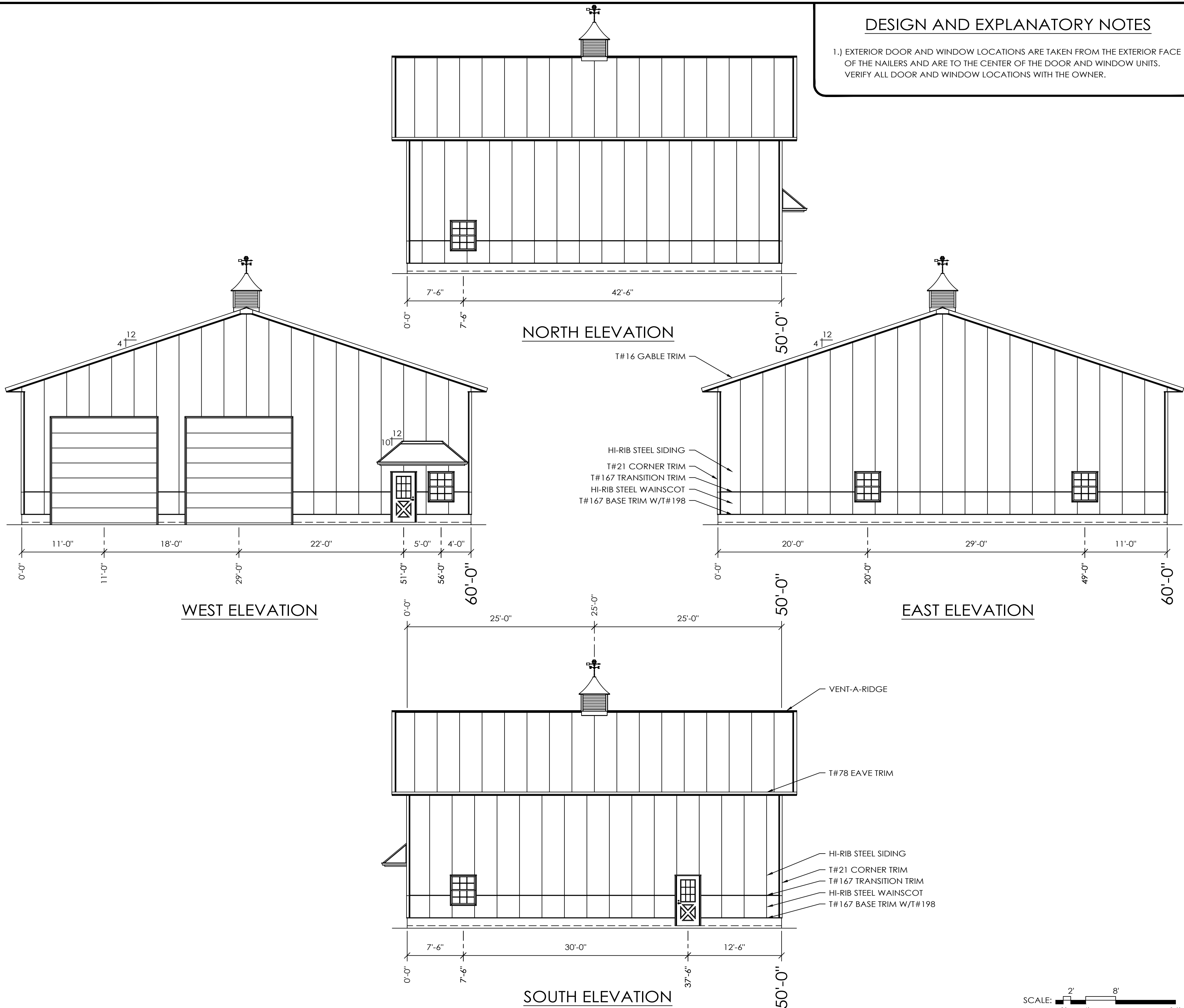
POLAND, ME

ME
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100 S. PERSHING P.O. BOX 110 MORTON, IL 61550
PHONE NUMBER: 309-263-4105

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DATE:	5/29/2020
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TARGET DATE:

SCALE: AS NOTED
SHEET NO. S3 OF S8



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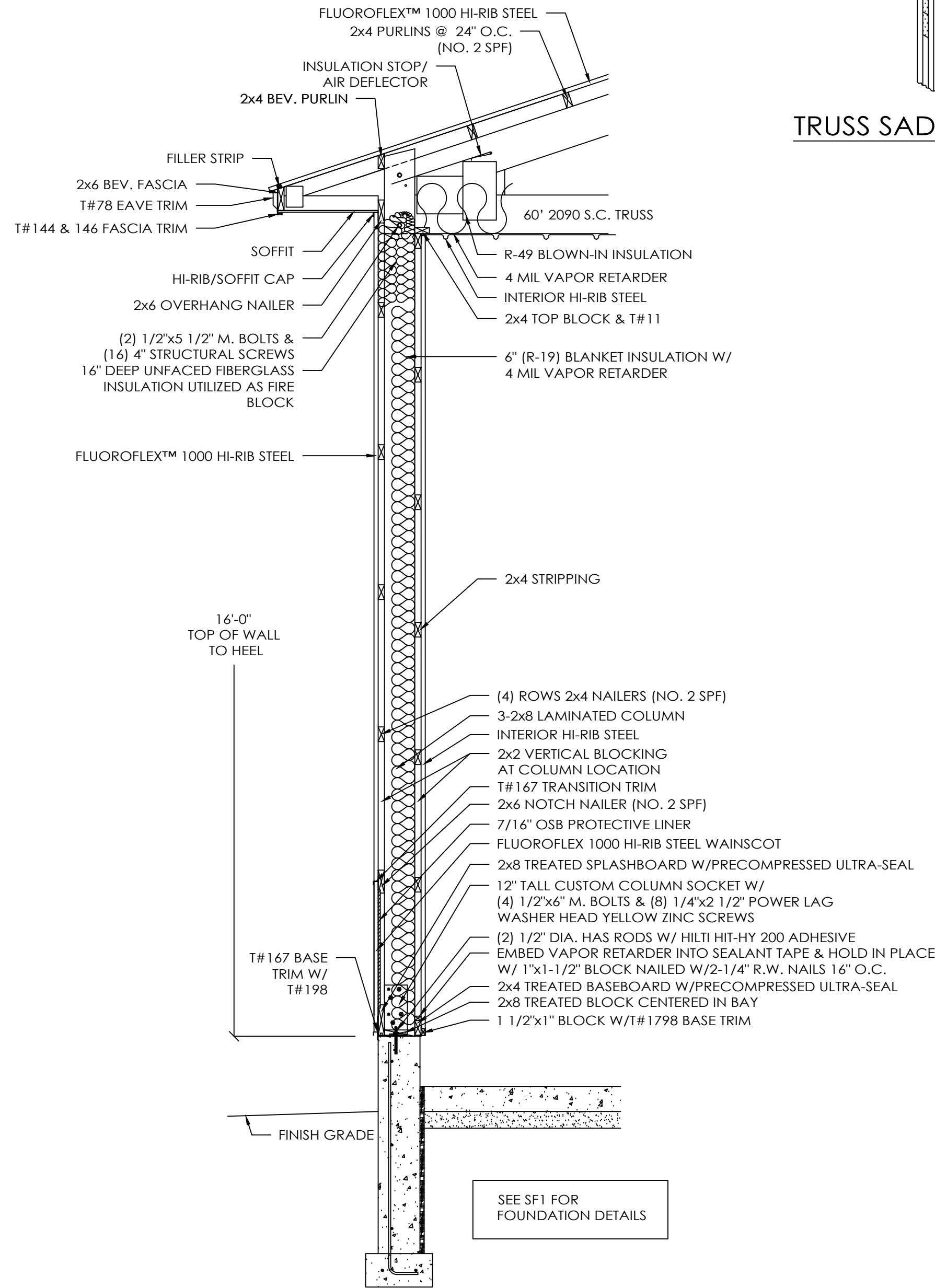
POLAND, ME

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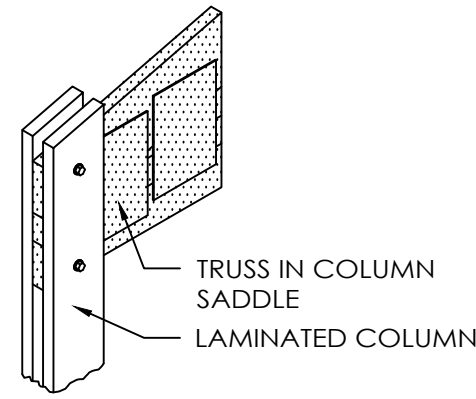
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TARGET DATE:

SCALE: AS NOTED
SHEET NO. S4 OF S8



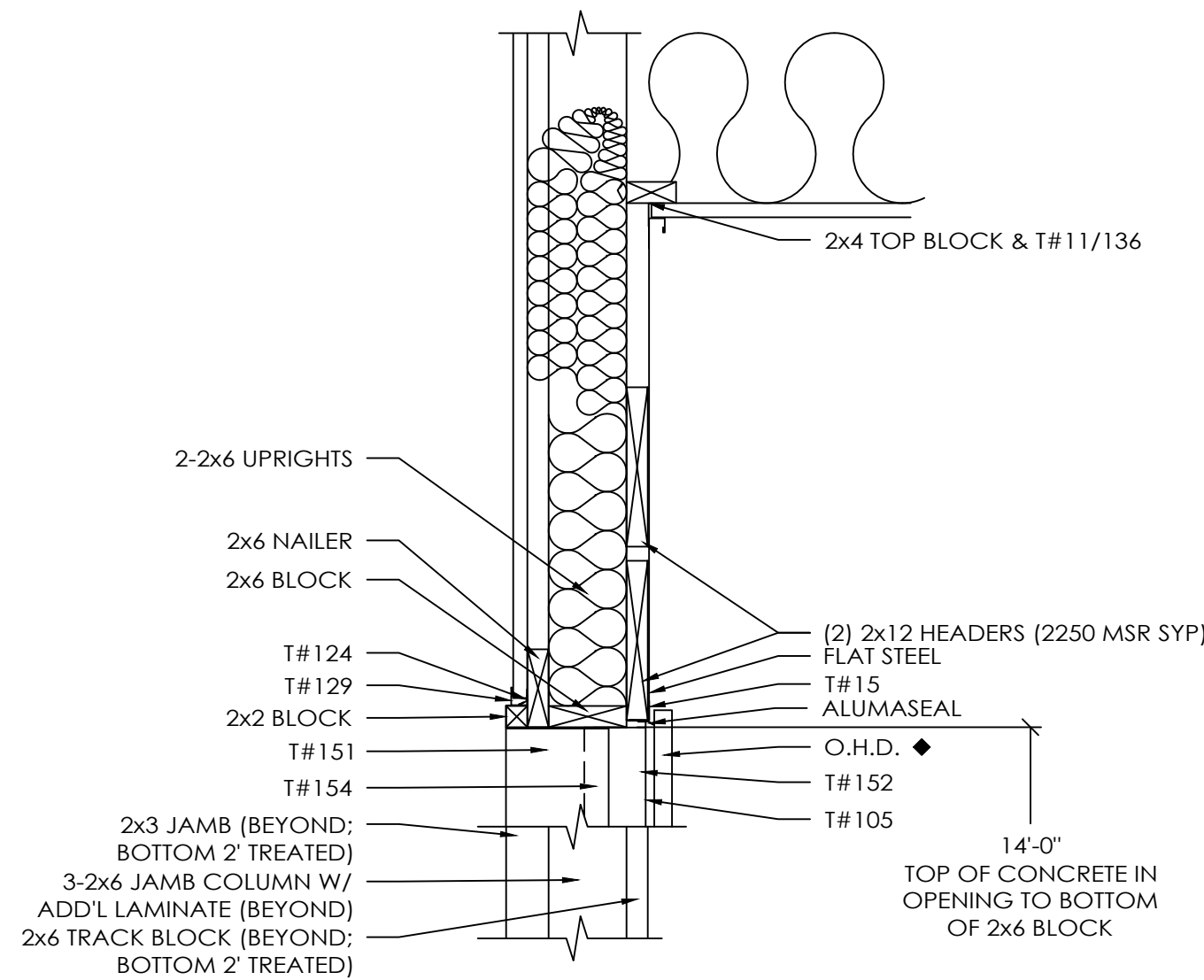
SIDEWALL SECTION A
SCALE: 1/2" = 1'-0"



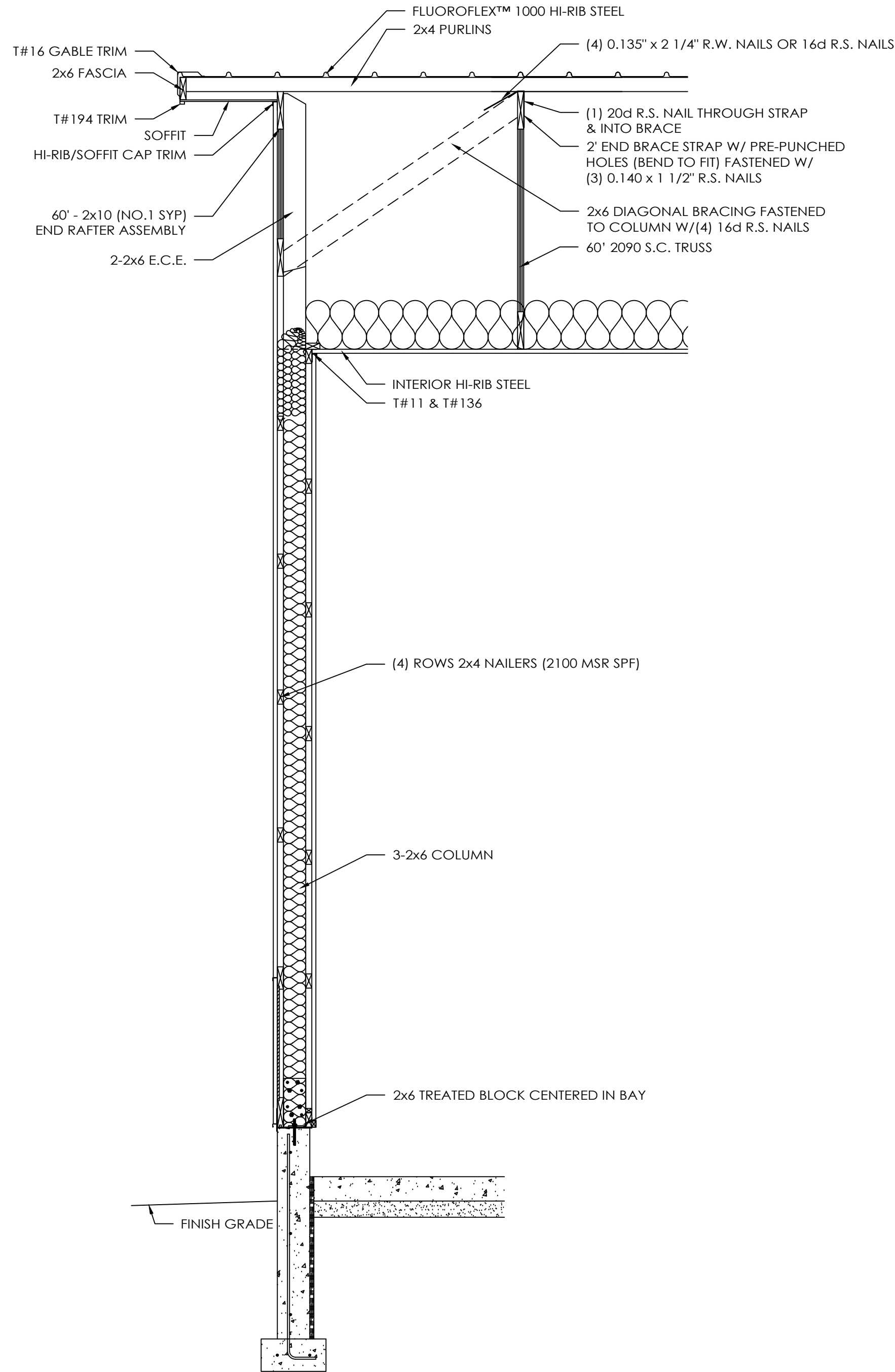
TRUSS SADDLE ISOMETRIC

HEADER NAILING SCHEDULE		
HEADER MEMBER	UPRIGHT	JAMB COLUMN
EA. 2x12	8	8

- NOTES:
- NUMBERS ABOVE ARE 20d R.S. NAILS REQUIRED PER CONNECTION.
 - PRE-DRILL HEADERS AS REQUIRED TO PREVENT SPLITTING.
 - IF NUMBER OF NAILS REQUIRED FOR HEADER TO JAMB COLUMN CONNECTION IS EXCESSIVE TO CAUSE SPLITTING, THE EXCESS NAILS MAY BE INSTALLED IN HEADER SUPPORT BLOCKING.



OHD HEADER SECTION B
SCALE: 1" = 1'-0"



ENDWALL SECTION C
SCALE: 1/2" = 1'-0"

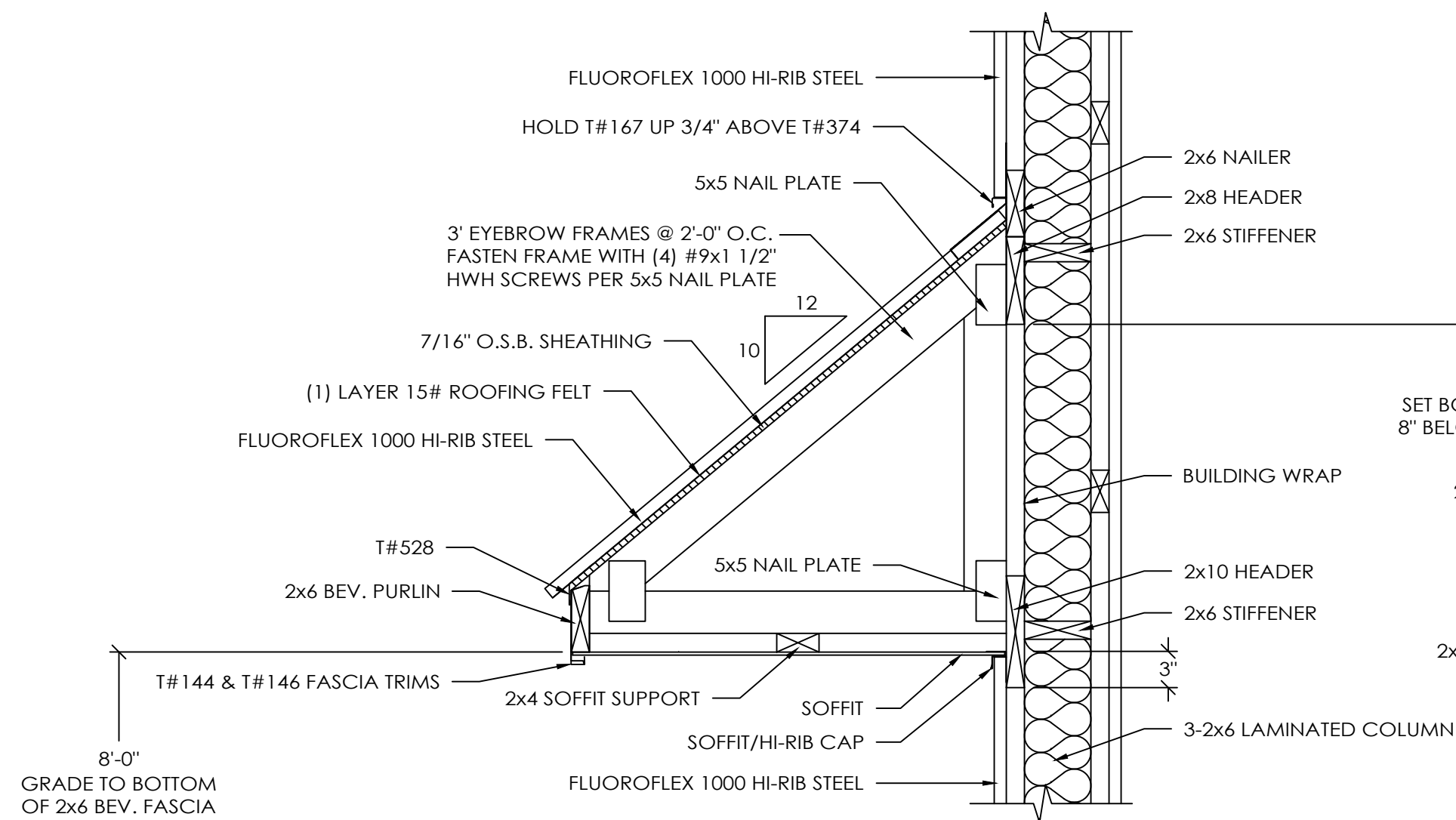
SPRUCE BAY FARM & LANDSCAPE INC.

POLAND, ME

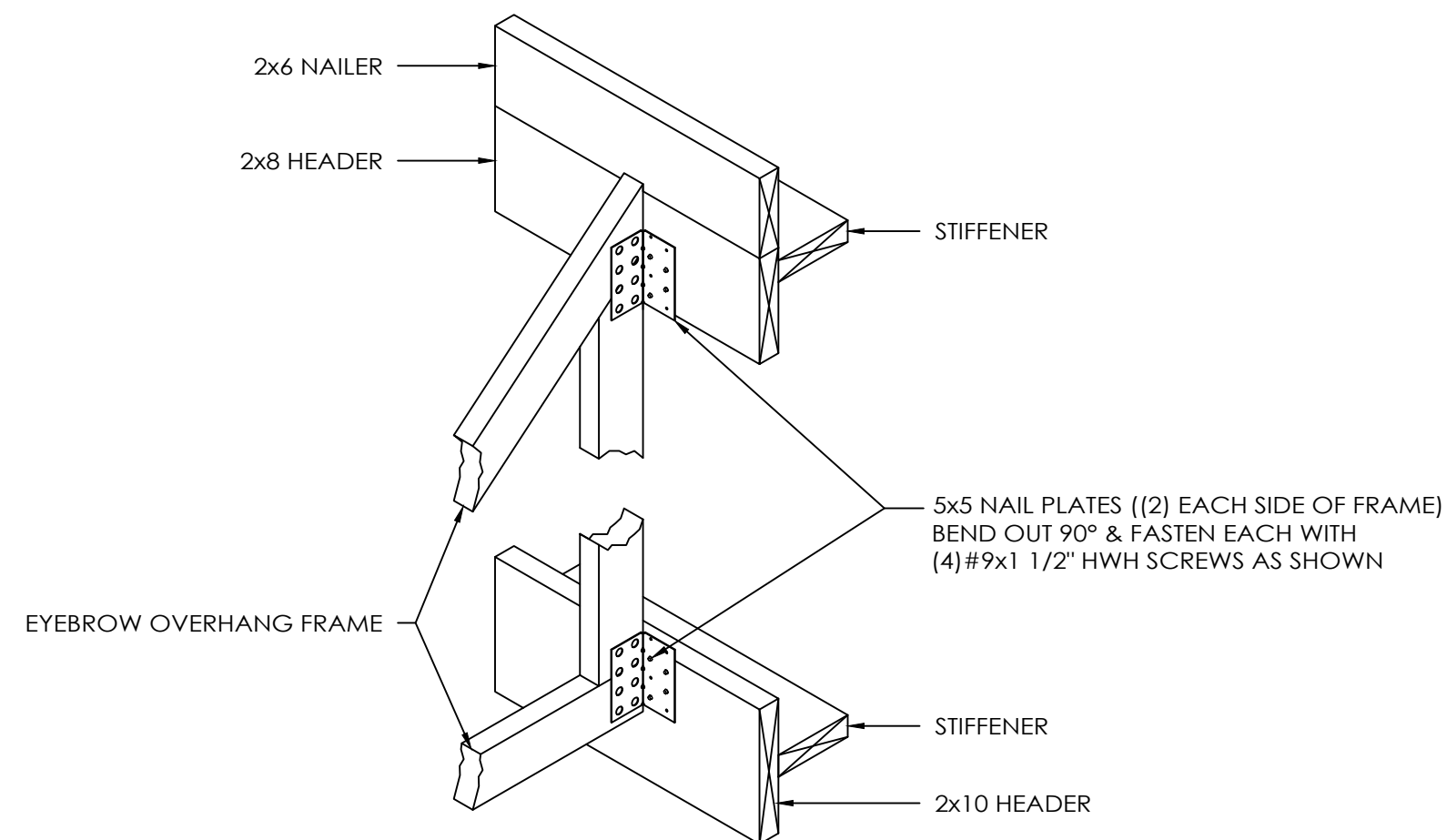
ME
ALLIED DESIGN ARCHITECTURAL & ENGINEERING GROUP, P.C.
100 S. PERSHING P.O. BOX 110 MORTON, IL 61550
PHONE NUMBER: 309-263-4105

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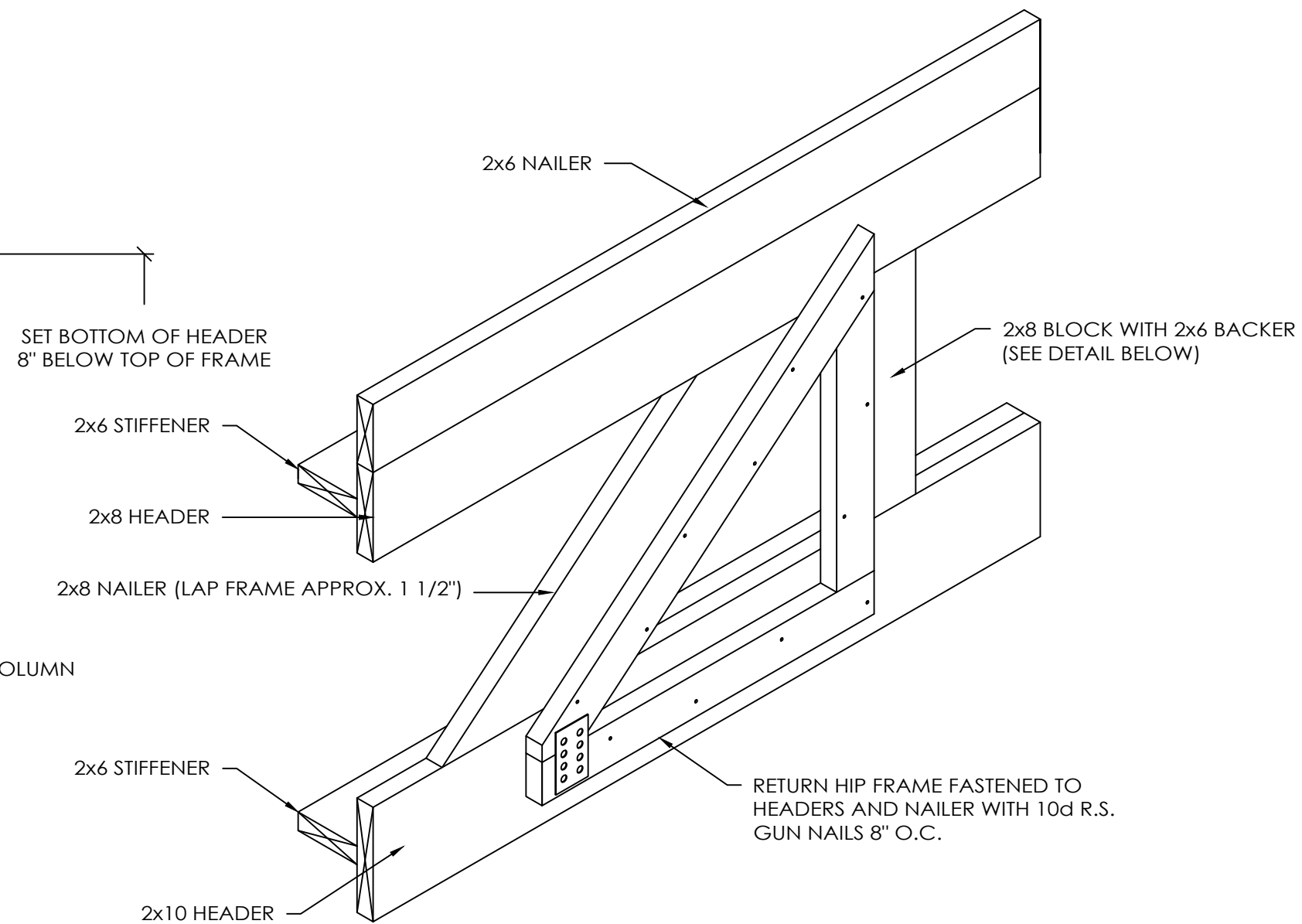
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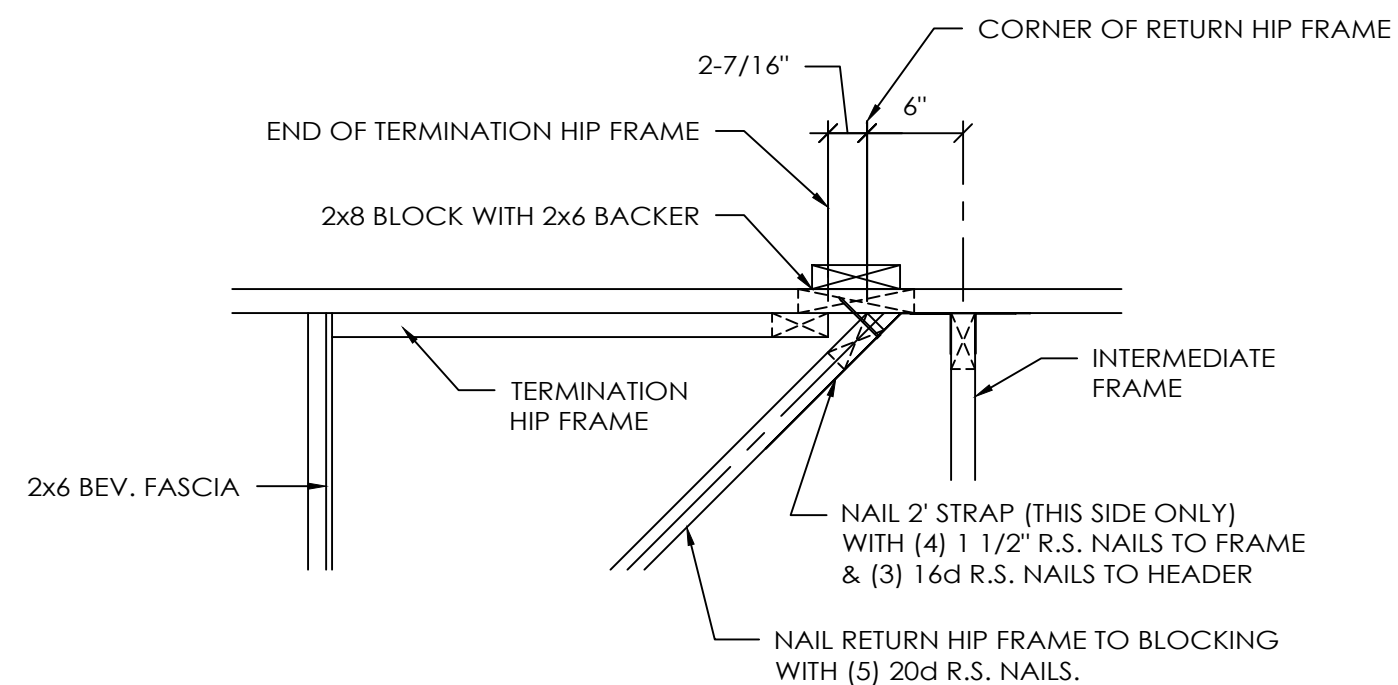
3'-0" EYEBROW OVERHANG SECTION D
SCALE: 1" = 1'-0"



EYEBROW ATTACHMENT DETAIL
SCALE: 1" = 1'-0"

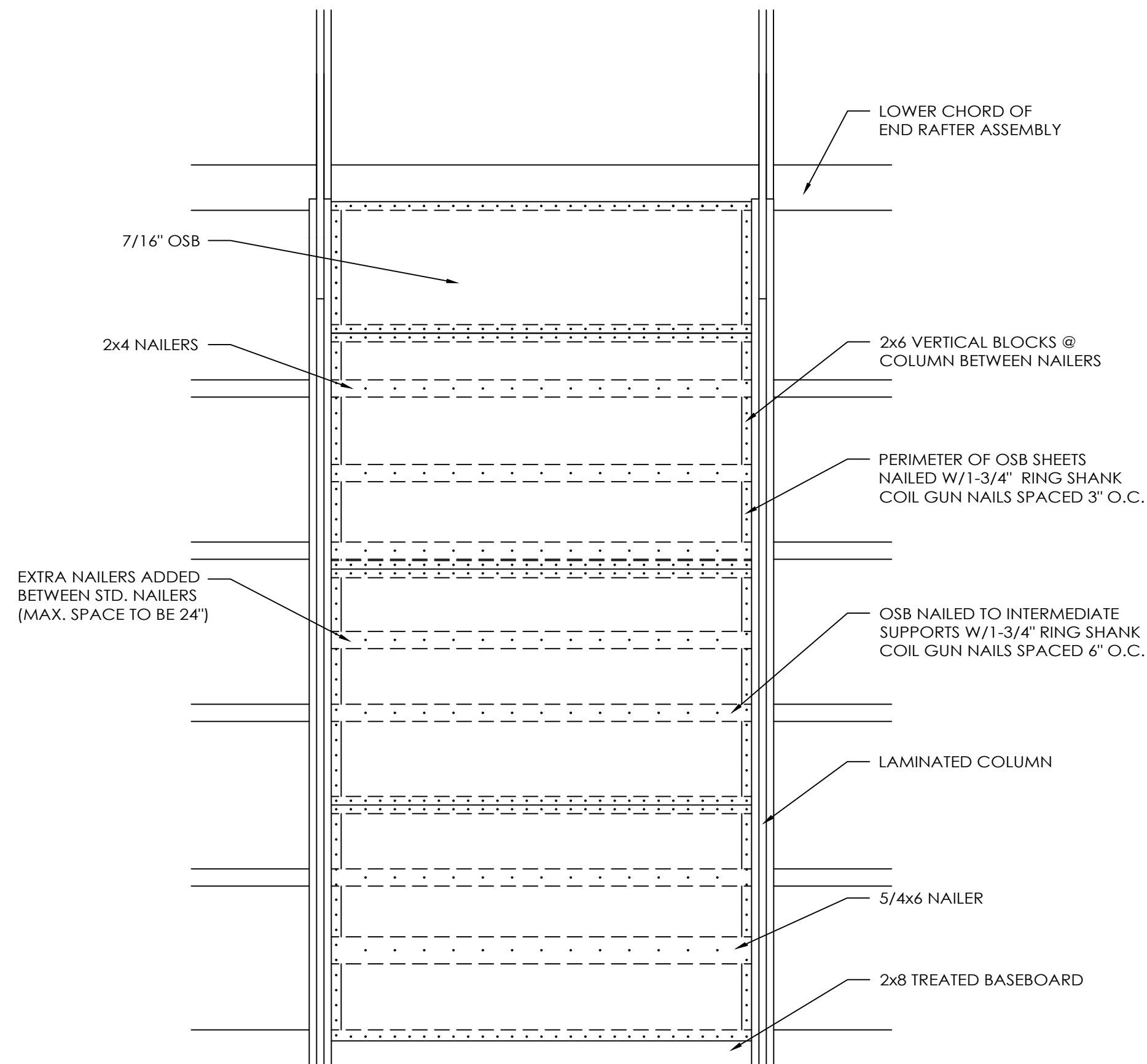


EYEBROW HIP ATTACHMENT DETAILS
SCALE: 1" = 1'-0"

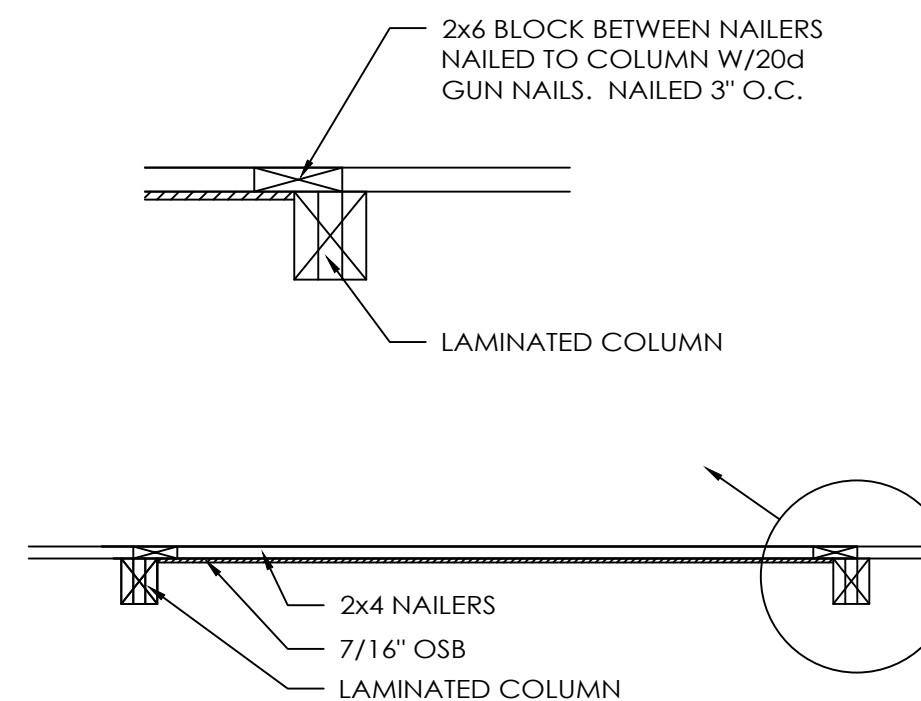


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REVISED DATE:	----

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TARGET DATE:



7/16" OSB SHEARWALL ELEVATION
 SCALE: 1/2" = 1'-0"



OSB SHEARWALL DETAIL
 SCALE: 1/2" = 1'-0"

SPRUCE BAY FARM & LANDSCAPE INC.

POLAND, ME

ME
ALLIED DESIGN ARCHITECTURAL & ENGINEERING GROUP, P.C.
 100 S. PERSHING P.O. BOX 110 MORTON, IL 61550
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REVISED DATE:	----
REVISED DATE:	----

**NOT
CHECKED**
 TARGET DATE:

CONCRETE FOUNDATION PLANS - INSTRUCTIONS AND ACKNOWLEDGMENTS

ALL MINIMUM SPECIFICATIONS MUST BE MAINTAINED PER SIGNED FORM 222/223 OR GREATER IF NOTED ON PLANS

INSTRUCTIONS FOR MBI SALES
CONSULTANT/CONSTRUCTION COORDINATOR
(IF OWNER/OWNER'S CONTRACTOR IS DOING THE WORK)

TO: SCOTT GRONDIN #: 118
(Sales Consultant's Name) (C. Center #)

FROM: RON HOPPE #: 56324
(Name of Order Processing Construction Estimator) (Extension Number)

- Attached are:
- 4 sets of concrete plans and copies of the Form 222 which was signed by the owner.
 - 1 set is intended for the owner,
 - 2 sets for the owner's concrete contractor, and
 - 1 set for the construction center. **This copy is to be signed by the owner prior to concrete placement and the MBI representative that verified that the work is complete and complies with the plans and specifications**
 - The concrete plans are to be checked against the concrete foundation for: dimensions, diagonals, control joint locations, anchor bolt, and door locations. Verify all wall height elevations with your builder's level every 30' and mark on the plans. Check all items on plans - this is critical in getting the proper material to the project. Any nonstandard concrete foundation should be supported with pictures.
 - The signed and marked up plans are to be forwarded to Morton once completed. Delivery clearance will then be granted. Must be in Morton Corporate 1 week after building is placed on pre-schedule.

List any discrepancies from what is noted on the plans in the blank below:

The signed off copy is to be signed by the owner (before concrete placement) and yourself, (after verifying the actual concrete against the plans) then forwarded to Morton once all signatures are in place. Order processing will resume once a signed copy is received and reviewed in Morton by the construction estimator. Delivery clearance will then be granted.

You acknowledge the work is complete and complies to the plans.

(Sales Consultant/Construction Coordinator
Signature Authorizing Delivery)

(Date)

OWNER'S ACKNOWLEDGMENT
(IF OWNER / OWNER'S CONTRACTOR IS DOING THE WORK)

These concrete plans were prepared in accordance with the order received from our Sales Consultant. Please review the following items. If changes are needed, contact your Sales Consultant immediately, who will then have the plans revised accordingly.

Please sign one set of these plans indicating you (The Owner)
approve all of the items listed below:

- Overall dimensions and door locations are to your satisfaction.
- Concrete control joint requirements and specifications are to your satisfaction.
- The elevation height relationship between the top of the floor and top of concrete wall is to your satisfaction (if applicable).
- Concrete floor slopes, typically seen at door openings and floor drains, are to your satisfaction.

(Owner's Signature)

(Date)

The following items are the responsibility of the
owner or owner's contractor:

- Insist that your contractor carries adequate liability insurance and has an OSHA approved safety plan for your own protection.
- The concrete foundation is properly located on the site.
- The DIGGING AUTHORITIES have been contacted for clearance prior to excavation and placing of concrete.
- All private underground lines, such as water, gas, sewer, electric, phone, cable, etc., have been properly marked.
- All building permits are on hand before commencing with any concrete or foundation work.
- The finish floor and/or concrete wall elevation above the exterior grade is properly located and marked.
- The anchor bolt setting instructions (if applicable), as outlined on the foundation plans, must be carefully followed.
- The backfilling around the concrete foundation perimeter is at least 10' as per specifications noted on form 153A (Morton Building Site Specifications). This requirement must be fulfilled before delivery of building can be issued.

The order acceptance process will resume once the concrete foundation/anchor bolt placement (if applicable) is inspected / verified by the Sales Consultant / Construction Coordinator and the report is received in Morton.

OF ANCHOR BOLTS NEEDED: 60
(IF APPLICABLE)

THIS MUST BE RETURNED TO MORTON BUILDINGS
CORPORATE NO LATER THAN FRIDAY MORNING OF THE
WEEK THE PROJECT IS PLACED ON PRE-SCHEDULE.

OFFICE: MANCHESTER, NH
JOB NO. 118-098187

SPRUCE BAY FARM & LANDSCAPE INC.

POLAND, ME



MORTON BUILDINGS, INC.

309-263-7474

MORTON, IL 61550-0399

P.O. BOX 399



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DATE:	5/29/2020
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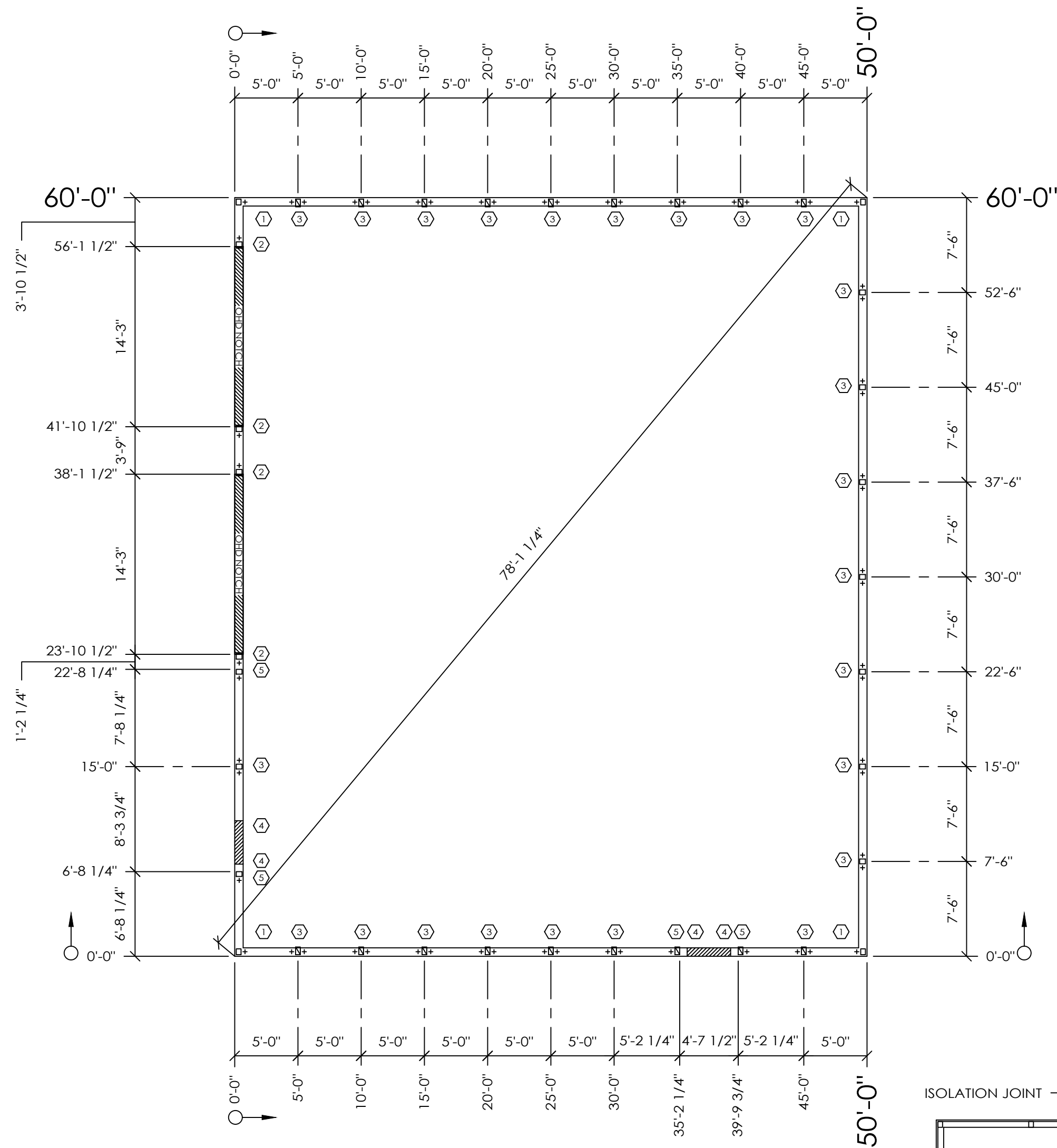
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TARGET DATE:

SCALE: AS NOTED

SHEET NO.

SB1 OF SB3

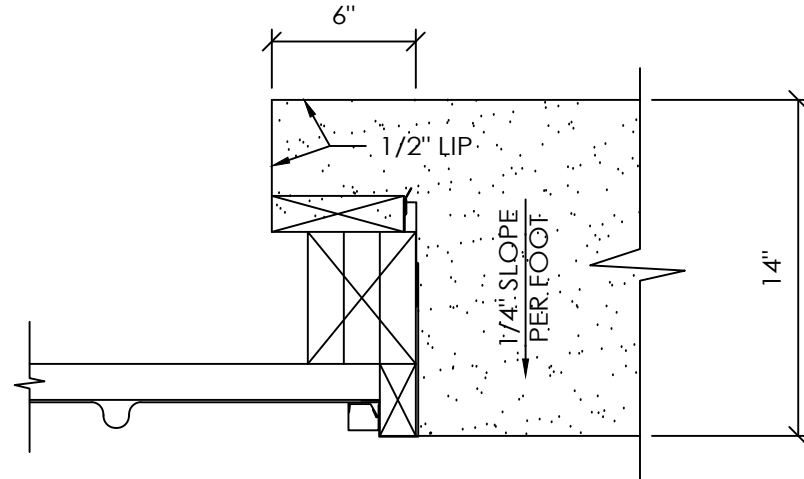


ANCHOR BOLT PLAN

ANCHOR BOLT PLAN LEGEND

- + - ANCHOR BOLT LOCATION
- - BUILDING COLUMN LOCATION
- ① - TEMPLATE DETAIL REFERENCE

○ → - SET ANCHOR BOLTS IN THE DIRECTION OF THE ARROW W/MEASURING TAPE HOOKED TO THE EDGE OF THE CONCRETE BEHIND THE ARROW.



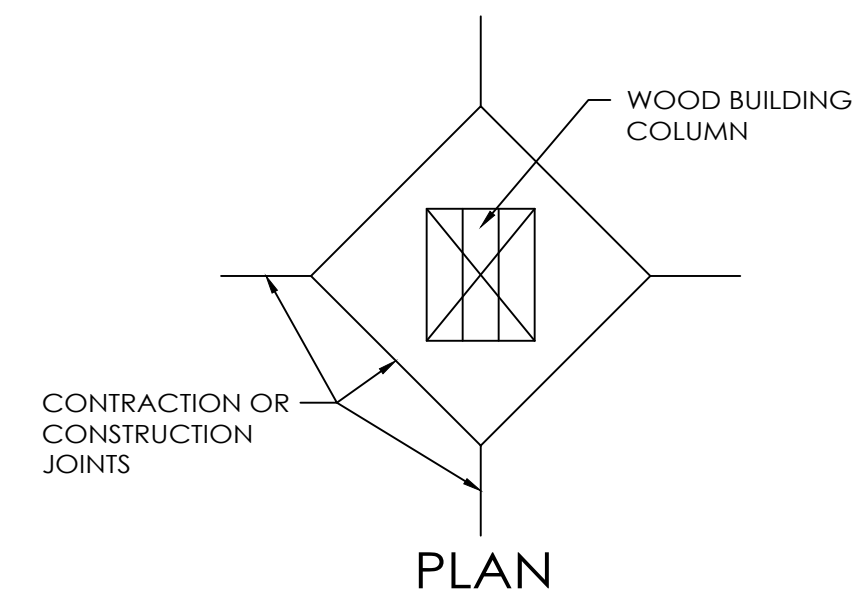
OVERHEAD DOOR CONCRETE JAMB DETAIL

SCALE: 1 1/2" = 1'-0"

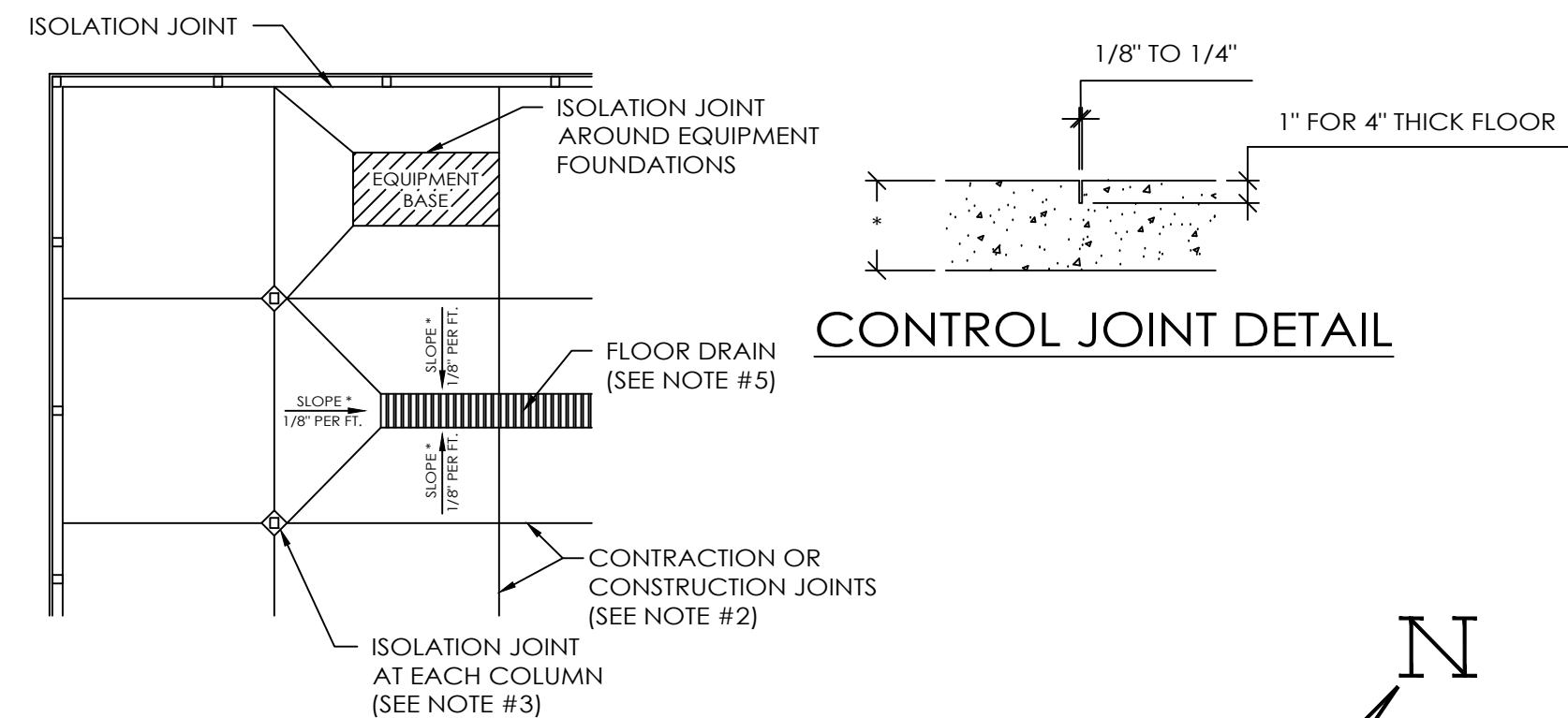
DESIGN AND EXPLANATORY NOTES

- 1.) SPECIFIC PROJECT DESIGN MAY REQUIRE CONTRACTOR MODIFICATIONS TO COMPLY WITH INDUSTRY STANDARDS AND ACI 302.
- 2.) CONTROL JOINTS ARE REQUIRED AND MAY BE ACHIEVED WITH SAW CUTS, HAND GROOVING, OR INSERTING A PREMOLDED STRIP. JOINT SPACING AS PER INDUSTRY STANDARDS AND ACI 302. CONTROL JOISTS ARE TO BE TO A DEPTH OF 1/4 THICKNESS OF THE FLOOR. FLOORS SUBJECT TO WET EXTERIOR CONDITIONS SHOULD HAVE JOINTS FILLED AND PROTECTED WITH AN APPROPRIATE JOINT SEALANT.
- 3.) ISOLATION JOINTS ARE REQUIRED AT JUNCTIONS WITH WALLS, COLUMNS, EQUIPMENT FOUNDATIONS, FOOTINGS, OR OTHER POINTS OF RESTRAINT SUCH AS DRAINS AND SUMPS. THE JOINT MATERIAL SHOULD EXTEND THE FULL DEPTH OF THE SLAB AND SHOULD NOT PROTRUDE ABOVE IT. WHERE THE JOINT FILLER WILL BE OBJECTIONABLY VISIBLE OR WHERE THERE ARE WET CONDITIONS, THE TOP OF THE PREFORMED FILLER SHOULD BE REPLACED WITH AN APPROPRIATE JOINT SEALANT.
- 4.) WHEN POURING CONCRETE UP TO OR AROUND THE BUILDING AND/OR ITS COMPONENTS, ALWAYS PLACE AN EXPANSION JOINT BETWEEN THE CONCRETE AND THE BUILDING MATERIAL BEING POURED AGAINST OR AROUND. THE EXPANSION JOINT MATERIAL MUST EXTEND THE FULL DEPTH OF THE CONCRETE SLAB.
- 5.) THE CONCRETE FLOOR MUST SLOPE A MINIMUM OF 1/8" PER FOOT TOWARD THE FLOOR DRAIN(S) WHEN SPECIFIED. THE OWNER IS TO DETERMINE HOW FAR AWAY FROM THE DRAIN THE SLOPING WILL BEGIN. FACTORS THAT AFFECT THIS DETERMINATION, INCLUDED BUT NOT LIMITED TO, ARE: THE AREA THE DRAIN(S) IS SERVICING, INTERIOR ROOMS, FUNCTION OF THE FLOOR, ITEMS THAT ARE BEARING ON THE FLOOR, ETC.
- 6.) ♦ THE PRECEDING SYMBOL IDENTIFIES ITEMS THROUGHOUT THE PLANS THAT ARE NOT PROVIDED BY MORTON BUILDINGS, INC. OR MORTON BUILDINGS' SUBCONTRACTORS AND ARE THE OWNER'S RESPONSIBILITY.

TYPICAL FLOOR JOINT REQUIREMENTS

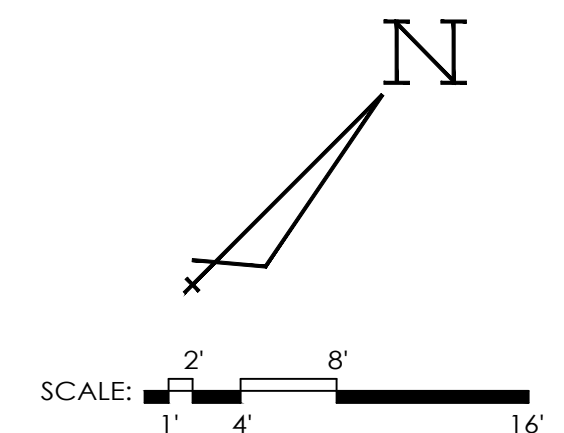


INTERIOR COLUMN FLOOR JOINTS



TYPICAL LOCATION OF JOINTS

SPACING: 4" FLOOR = 12' O.C. MAXIMUM



OFFICE:
MANCHESTER, NH
JOB NO.
118-098187

SPRUCE BAY FARM & LANDSCAPE INC.

POLAND, ME



MORTON BUILDINGS, INC.
© MORTON BUILDINGS, INC. P.O. BOX 399 MORTON, IL 61550-0399 309-263-7474



DRAWN BY:	KRC
DATE:	5/29/2020
CHECKED BY:	WLM
DATE:	6/11/2020
REVISED DATE:	----
REVISED DATE:	----
REVISED DATE:	----
REVISED DATE:	----

NOT CHECKED
TARGET DATE:

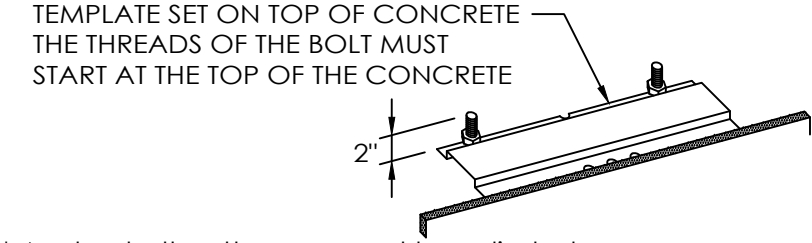
SCALE: AS NOTED
SHEET NO.
SB2 OF SB3

ANCHOR BOLT TEMPLATE DETAILS

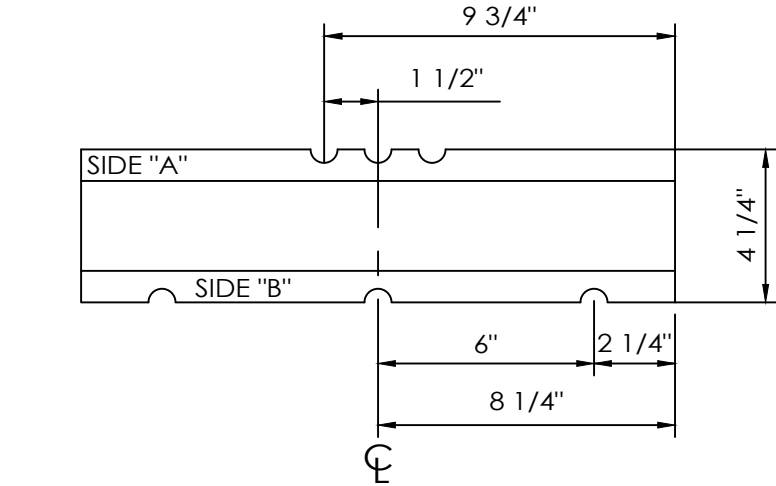
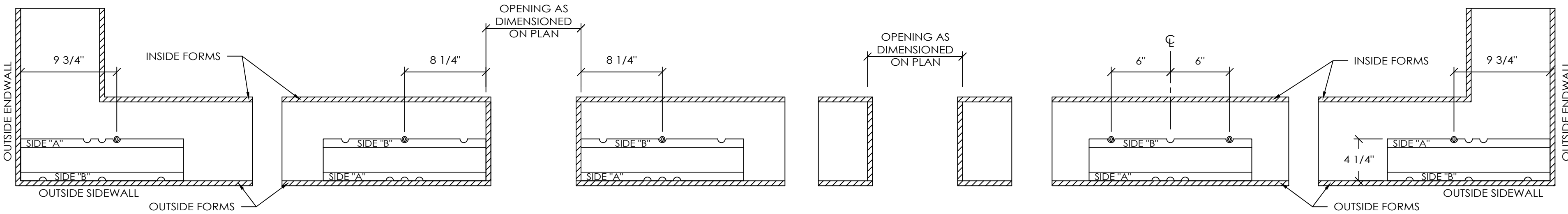
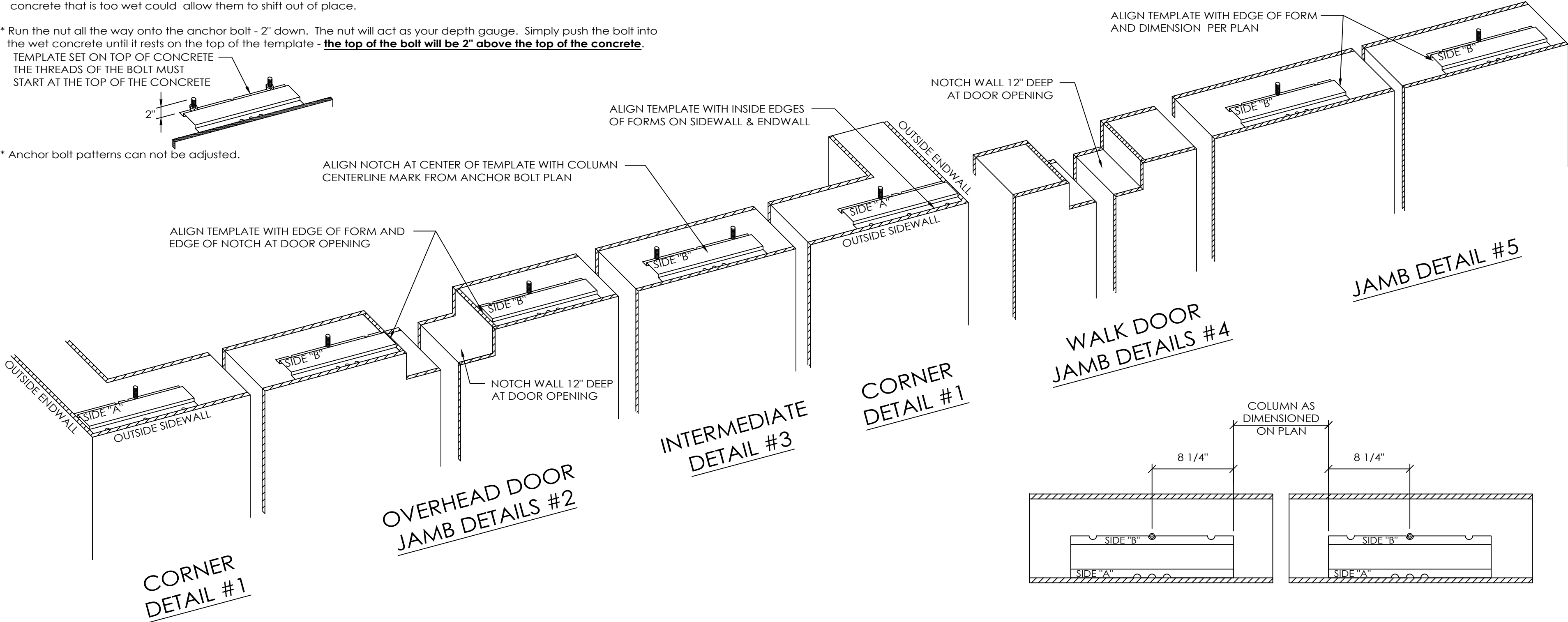
INSTRUCTIONS FOR SETTING ANCHOR BOLTS

Please take a few minutes to familiarize yourself with the plans and template before the actual pour to prevent confusion and the possibility of making errors. Setting of anchor bolts is critical for the construction process.

- * The MBI supplied concrete template has two distinct sides ("A" and "B").
- * Side "A" is used for setting the bolts for all corner columns. See detail #1.
- * Side "B" is used for setting bolts for all other columns. See details #2 and #3.
- * Jamb column bolts for openings are set by side "B" and working away from the opening. See detail #2.
- * Mark the forms for intermediate column locations before pouring. Use a tape measure that will stretch the length of the wall and start setting bolts along the wall beginning in the corner with the symbol (○→). Make sure to take your measurements from the inside of the concrete forms. Make sure forms are straight and braced before pouring.
- * Concrete has to be wet enough to receive the bolts, but stiff enough to hold the bolts in place. Placing bolts into concrete that is too wet could allow them to shift out of place.
- * Run the nut all the way onto the anchor bolt - 2" down. The nut will act as your depth gauge. Simply push the bolt into the wet concrete until it rests on the top of the template - **the top of the bolt will be 2" above the top of the concrete.**



* Anchor bolt patterns can not be adjusted.



ANCHOR BOLT TEMPLATE TOP VIEW

OFFICE:
MANCHESTER, NH
JOB NO.
118-098187

SPRUCE BAY FARM & LANDSCAPE INC.

POLAND, ME



MORTON BUILDINGS, INC.

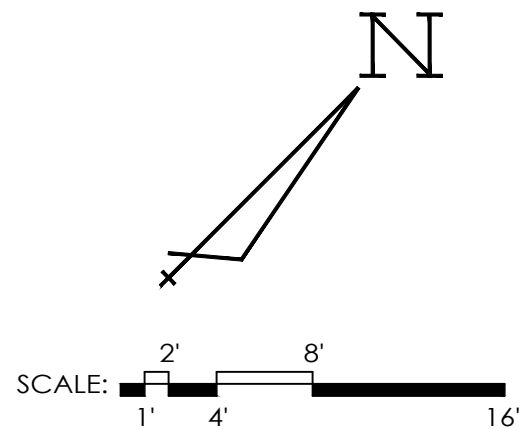
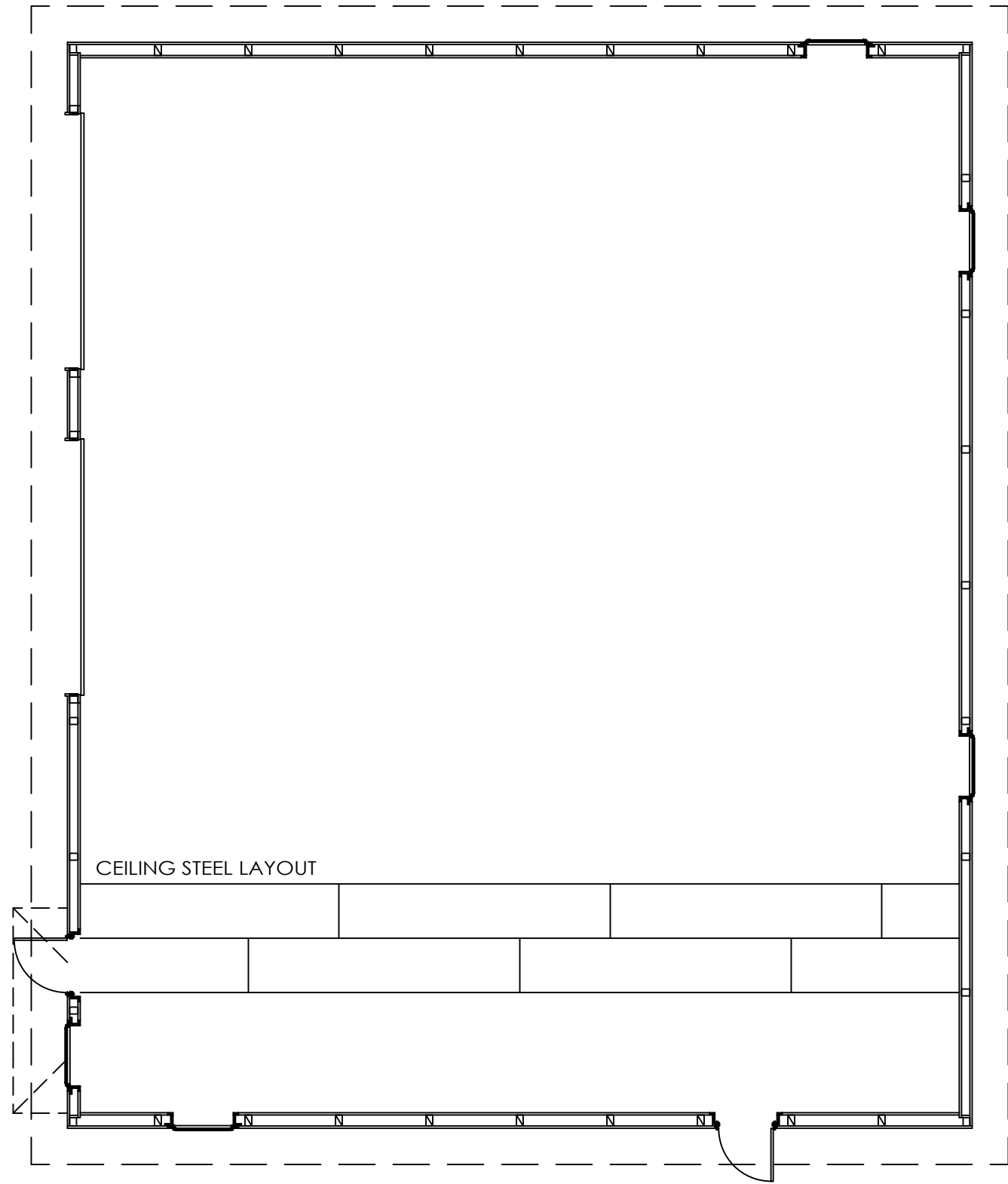
309-263-7474
MORTON, IL 61550-0399
P.O. BOX 399



DRAWN BY:	KRC
DATE:	5/29/2020
CHECKED BY:	WLM
DATE:	6/11/2020
REVISED DATE:	----
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NOT CHECKED
TARGET DATE:



SCALE: AS NOTED
SHEET NO.
SB3 OF SB3



OFFICE:	MANCHESTER, NH
JOB NO.	118-098187

SPRUCE BAY FARM & LANDSCAPE INC.

POLAND, ME

**MORTON BUILDINGS, INC.**

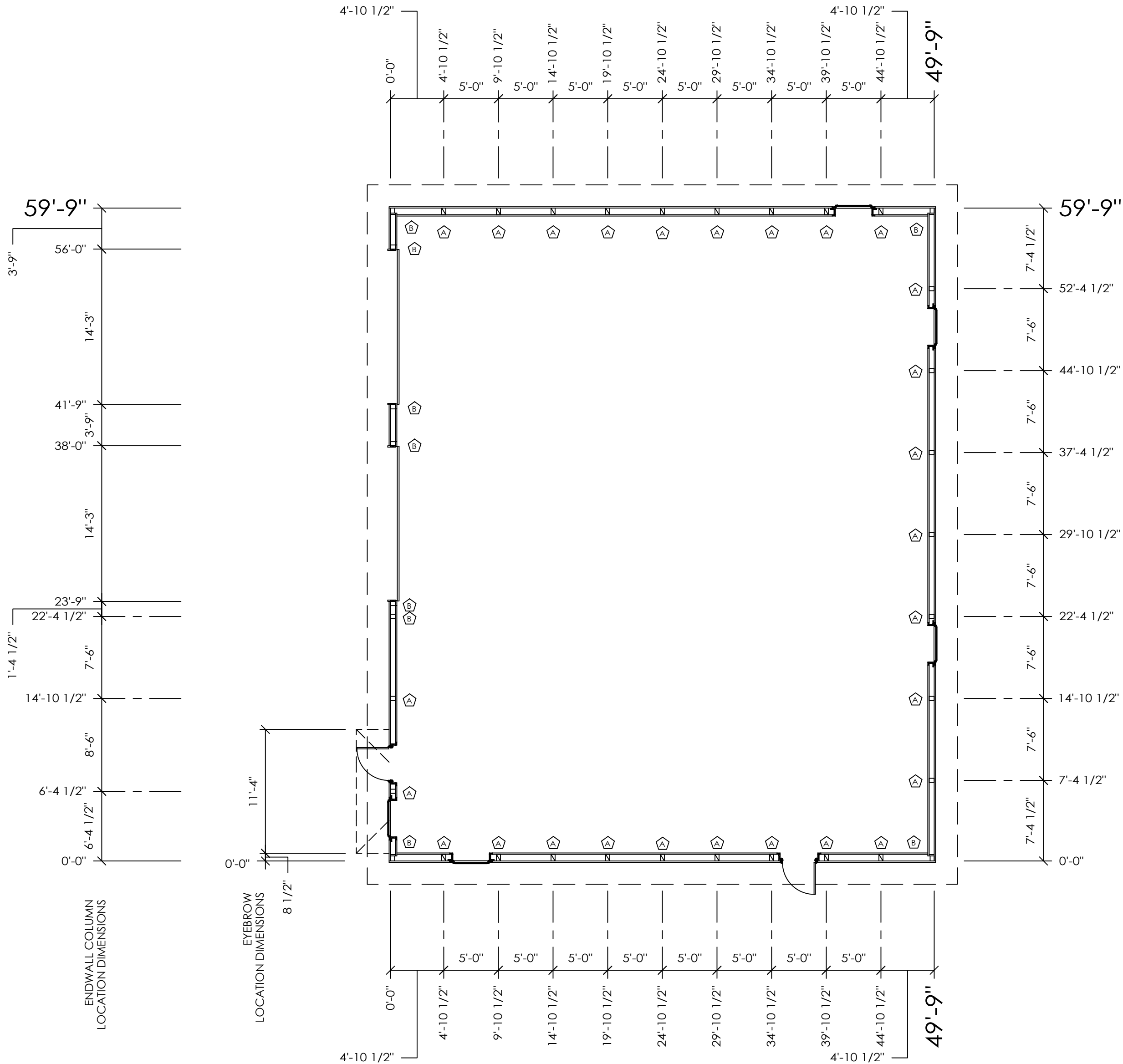
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DRAWN BY:	KRC
DATE:	5/29/2020
CHECKED BY:	WLM
DATE:	6/11/2020
REVISED DATE:	----
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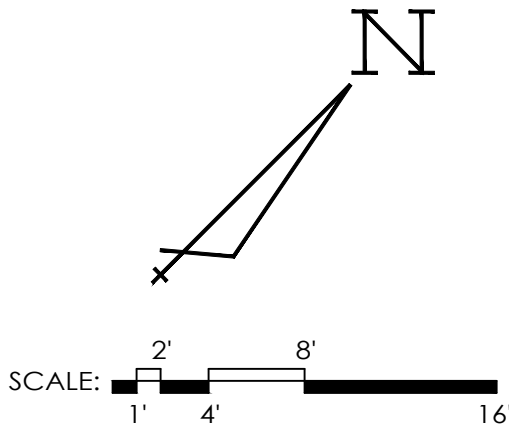
TARGET DATE:

SCALE: AS NOTED
SHEET NO.
Z1 OF Z1



ANCHOR BOLT / COLUMN SOCKET PLAN



ANCHOR SCHEDULE			COLUMN SOCKET SCHEDULE		
KEY	ANCHOR DESCRIPTION	ANCHOR EMBEDMENT	SOCKET DESCRIPTION	MBI ITEM #	QUANTITY
A	(2) 1/2" Ø HAS RODS WITH HILTI HIT-HY 200 ADHESIVE	6"	INTERMEDIATE SOCKET (12" TALL SOCKET WITH (2) 5/8" DIAMETER HOLES)	20697800001	27
B	(2) 1/2" Ø HAS RODS WITH HILTI HIT-HY 200 ADHESIVE	6"	JAMB SOCKET (12" TALL SOCKET WITH (2) 5/8" DIAMETER HOLES)	20697400001	9



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DRAWN BY:	KRC
DATE:	5/29/2020
CHECKED BY:	WLM
DATE:	6/11/2020
REVISED DATE:	----
REVISED DATE:	----
REVISED DATE:	----
REVISED DATE:	----

**NOT
CHECKED**
TARGET DATE:

SCALE: AS NOTED
SHEET NO.
AS1 OF AS1



Town of Poland, Maine Planning Board

Formal Site Plan Review

Instructions:

1. Read every part of this document. Failure to follow requirements can and will delay the Planning Board's decisions.
2. Fill out the forms on pages 1 through 6. Obtain or get copies of information as required by the application on these pages.
3. Use the "Submission Checklist" on pages 5 and 6 to make sure submission requirements are met.
 - a. The checklist is a summary of the standard requirements in Section 509.8 of the Comprehensive Land Use Code.
 - i. The actual Code wording may be found on-line at www.polandtownoffice.org. Go to the "Code Enforcement" page, select "Comprehensive Land Use Code" at that bottom of the page. Hardcopies are available for purchase at the town office.
 - b. Make sure all waiver requests have a written statement for each request. Check with the Code Enforcement Office to make sure items stated as "On File" are indeed in the town office.
 - c. Some requirements may need only a one paragraph or one sentence statement. Make sure all requests are answered.
4. NUMBER OF COPIES OF THE APPLICATION AND DUE DATE
 - a. A total of at least ten (10) copies of the plans and one PDF copy (on either cd or usb) are needed. Be sure to make a copy for yourself.
 - b. The Code Enforcement Office must receive the original application, an additional 9 copies, and a digital PDF copy (either cd or usb) with appropriate fees by 1:00 p.m. eleven (11) days before the stated meeting to be put on the upcoming agenda.
 - c. If review for missing information by the Code Enforcement Officer is desired, a copy must be submitted to the CEO at least 14 days prior to the meeting.
 - d. The application must be on file for public review for at least 10 days prior to the meeting. Applications received after the Agenda is posted may not be reviewed by the Board for your scheduled meeting date.
5. Check with this office to make sure that all departments have responded to your application prior to the meeting.

PROJECT NAME: ISM SOLAR DEVELOPMENT, LLC - Satellite office space for commercial
Date of Planning Board Review: / / Application #

solar development company

LOT INFORMATION:

Tax Assessor's Map # 15 Lot # 18B Sub lot #
Watershed: Little Androscoggin River

Property's Road Location: 1484 Maine Street

Lot Size: 9.7 (Acres) or Sq. Ft. Road Frontage: 604 Ft.

Year lot created: pre-2000 (If unknown, give best estimate with "est." after date)

Zoning District(s): DOWNTOWN VILLAGE Flood Zone: NA Aquifer Overlay: NA

Current use of lot: Poland self storage and office space

LAND OWNER(s):

Name(s) MARK LOPEZ

Company POLAND SELF STORAGE, LLC

Mail Address: 48 Commons Drive Main Phone 603-479-9095

Town/State/Zip Bridgton, ME 04009 Alternate Phone:

APPLICANT or CONTACT PERSON:Applicant is: _____ Landowner _____ Contractor _____ ☒ Renter _____ Buyer

If landowner, write "Same" below and continue to next block below. If not the landowner, submit a letter of permission to construct on or use the land, or copy of a contract to buy from the landowner, along with the following information:

Name(s): Gregory L. LuciniCompany ISM Solar Development, LLCMail Address: 940 Waterman Avenue Main Phone: 401-435-7900Town/State/Zip East Providence, RI 02914 Alternate Phone: _____**THIS APPLICATION IS FOR:**

(Check all that apply)

- ☒ Commercial
☐ Industrial
☐ Institutional
☐ Governmental
☐ Open Space

- ☐ New Development
☐ Change In Use
☐ Expansion of Use
☐ Expansion of Structure(s)
☐ Resumption of Use

EXISTING LOT CONDITIONS: ON FILE - SEE MARK LOPEZ FORMAL SITE PLAN REVIEW
(This page is to describe what is on your lot currently)**1. General**

Does this lot have any development? (If No, go to "Proposed Development") _____ Yes

_____ No

a. Is there an existing Well _____ Yes

_____ No

b. Is there an existing Septic System _____ Yes

_____ No

i) If yes, submit a copy of a septic permit, or drawing(s) showing size & location.

c. Is there an existing Road Entry _____ Yes

_____ No

i) If yes, will there be any changes/modifications? _____ Yes

_____ No

ii) (If no, submit copy of appropriate road entry application if entrance is onto a state or town road.)

d. Any structures to be removed _____ Yes

_____ No

i) If yes, submit information about the structure to be removed and how any debris will be disposed of.

2. Existing Land Development & Improvements NOT Including Buildings ON FILEa. Size of lawns _____ Sq. Ft.
or Acresb. Size of fields _____ Sq. Ft.
or Acres

c. Size of driveways/roads _____ Sq. Ft.

d. Size of other non-vegetated areas _____ Sq. Ft.

e. Wetlands already filled _____ Sq. Ft.

3. Existing Main Structure

a. Ground Footprint _____ Sq. Ft.

b. Total Gross Floor Space (exterior dimensions of all floors) _____ Sq. Ft.

c. Road Frontage Setback _____ Ft.

- d. Side Setback _____ Ft.
 e. Rear Setback _____ Ft.
 f. Distance to Great Pond _____ Not applicable (over 250') _____ Ft.
 g. Distance to Stream _____ Not applicable (over 250') _____ Ft.
 h. Distance to Wetlands _____ Not applicable (over 250') _____ Ft.
 4. **Foundation Type** _____ Full Basement _____ Frost Walls _____ Slab _____ Piers
 5. **Existing Accessory Structure(s)**
 a. Total Number of Structures _____
 b. Total Ground Footprint _____ Sq. Ft.
 c. Total Floor Space _____ Sq. Ft.
 d. Closest Road Setback _____ Ft.
 e. Closest Side Setback _____ Ft.
 f. Closest Rear Setback _____ Ft.
 g. Distance to Great Pond _____ Not applicable (over 250') _____ Ft.
 h. Distance to Streams _____ Not applicable (over 250') _____ Ft.
 i. Distance to Wetlands _____ Not applicable (over 250') _____ Ft.
 6. **Total Existing Impervious Surfaces** _____ Sq. Ft.
 a. Add $2c + 2d + 3a + 5b$

PROPOSED DEVELOPMENT: N/A for this Application. Previous Application on file; see Mark Lopez formal site plan review.

1. Wetlands to be impacted _____ Sq. Ft.
 2. New footprint(s) and developed area(s):
 a. Changes in building footprint(s) _____ Sq. Ft.
 b. Changes in driveway/roadway _____ Sq. Ft.
 c. Changes in patios, walkways, etc. _____ Sq. Ft.
 d. TOTAL ($2a+2b+2c$) _____ Sq. Ft.
 3. Percentage of lot covered by impervious surfaces: _____ %
 a. (Equals [areas on line 6 page 2 + line 2d above] / [Total lot area measured in sq. ft.] * 100%)

SUBMISSIONS:

1. **Attach drawings and/or statements describing the following items, if applicable:**
 a. Provide a copy of deed and Tax Assessor's information card.
 b. Provide a map of the general area showing land features within at least 1/2 mile of this lot.
 c. Provide site plan(s) of your lot with existing development and its dimensions shown.
 d. Provide site plan(s) of your lot with proposed development and its dimensions shown.
 i. (May be combined on existing development drawing.)
 e. Provide detailed plans of proposed structural development and changes.
 f. Provide statements or drawings of methods of infrastructure:
 i. Water supply
 ii. Sewage disposal
 iii. Fire protection
 iv. Electricity
 v. Solid waste disposal
 g. Type, size, and location of signs.
 h. Number of parking spaces.
 i. Provide phosphorus loading calculation if in a great pond watershed area.
 j. Anticipated date for start of construction.
 k. Anticipated date for completion of construction.
 l. Standard submissions requirements shall follow Section 509.8 of the Comprehensive Land Use Code. Copies of the Code are available for viewing at the Town Office and Library. Copies are available for purchase (\$25.00) in the Code Enforcement Office.
 i. (Use checklist starting on page 6 for summary of usual requirements.)
 m. Other requirements unique to your project added by the Planning Board.


2. **List all state and federal approvals, permits, and licenses required, if any, for the project:**

This includes but is not limited to the following:

1. State highway entrance permit.
2. Soil disturbances involving more than one acre.
3. Impact on more than 4,300 square feet of any type wetland.
4. Soil disturbances within 100 feet of lakes, rivers or streams.
5. Activity within 75 feet, over the water, or in the water of lakes, rivers, or streams.
6. Timber harvesting.
7. Flood zones.
8. Discharges and emissions

DISCLOSURE: (READ BEFORE SIGNING)

1. I hereby acknowledge that I have read this application and pertinent sections of the ordinances, and state that the information in this document is to the best of my knowledge true and accurate. I agree to comply with all the Town of Poland's ordinances and the State of Maine's statutes regulating the activities sought in this application as well as any permit(s) approved for this application.
2. I understand that all construction of structures shall conform to or exceed the minimum requirements of the Maine Uniform Building and Energy Code, and the NFPA-101 Life Safety Code, 2009
3. I understand that any approval is valid for only the use(s) as specified in this application. The permitting authority must approve any change(s) made to the use(s) sought in the application. Any approval issued for this application is approved on the basis of truthful information provided by the applicant(s), and as allowed by the ordinances of the town.
4. I understand that it is my responsibility to assure that the lot description herein accurately describes its ownership, its boundary lines, and the setback measurements from the legal boundary lines.
5. I understand that I have the burden of proof as to the legal right to use the property, and that approval of this application in no way relieves me of this burden. Any approval issued does not constitute a resolution in favor of me or the landowner in any matters regarding the property boundaries, ownership, or similar titles.
6. I understand that all necessary **Building and Use Permits** shall be secured from the Code Enforcement Office after the Planning Board grants approval of this application.
7. I understand that a **Certificate of Occupancy or Compliance** shall be required prior to the start of any use or occupancy associated with this application unless a signed written waiver is issued with the permit. Fines and penalties may be issued if use or occupancy is started prior to the issuance of the certificate.
8. I understand that the **approval becomes invalid** if construction or use has not commenced within twelve (12) months of the Planning Board's approval date, construction is suspended for more than six (6) months and no notice for just cause is submitted prior to the end of the six (6) months, or it is found that false statements have been furnished in this application.
9. I understand that if I fail to comply with the aforementioned statements, a "STOP WORK" order may be issued for which I will immediately halt any construction and/or use(s) that are approved for this application. This failure may also require that I return the property to its natural state or as closely thereto before the use(s) was/were approved.
10. I understand that failure to follow these requirements will lead to Violation Notices and Citations that have fines and penalties. This in turn can lead to civil proceedings in District and/or Superior Court.
11. I understand that **all state and federal permits** are my responsibility as the applicant and/or owner and will secure the same prior to the start of the project.

X 
Applicant's Signature(s)


Date

Submission CHECKLIST

The following list is a short summary of the information required in Chapter 509.8 of the Comprehensive Land Use Code for the Town of Poland, Maine. Please checkmark or place an "X" in the left-hand columns if the information has been provided, if you request a waiver from submitting the information, or you believe the information is not applicable to your application. If a waiver(s) is requested, or the information is not applicable, a written explanation is required. Columns on the right are for the Planning Board's use. *All below - on file*

For Applicant Use			Section 509.8.A Submission requirements	For Planning Board Use			
Provided	Waiver Request	Not Applicable		Received	On File	Waived	Not Applicable
			1. Site Plan Drawings				
			2. Signed copy of application				
			3.a. Name & address of owner				
			Name of development				
			Name & address of abutters within 500' of lot for development				
			Map of general location				
			Show all contiguous properties				
			Names, Map, & lot #'s on drawings				
			Copy of deeds, agreements				
			Engineer/ designer of plans				
			Existing Conditions (Site Plan)				
			Zoning Districts on and/or abutting project's lot shown				
			Bearings & Distances shown on drawings				
			Location of utilities, culverts, drains				
			Location, name of existing r/w				
			Location, dimensions of existing structures				
			Location, dimensions of existing roads, walks, parking, loading, etc.				
			Location of intersection within 200'				
			Location of open drains, wetlands, wildlife areas, historic sites, etc.				
			Direction of surface drainage				
			100-yr. Floodplain				
			Signs				
			Easement, covenants, restrictions				
			Proposed Development (Site Plan)				
			Location & dimensions of all new structures. New development delineated from existing development				
			Setback dimensions shown & met				
			Exterior lighting (Will meet full cutoff requirements)				
			Incineration devices				
			Noise of machinery and operations				
			Type of odors generated				
			Septic system and other soils reports				
			Water supply				
			Raw & finished materials stored outside				
			Contours shown at PB specified intervals				
			Curbs, sidewalks, drives, fences, retaining walls, parking, etc.				
			Landscaping plan				
			Easements, r/w, legal restrictions				
			Abutters' property lines, names				
			TRAFFIC DATA				

ON FILE: SEE MARK LOPEZ FORMAL SITE PLAN REVIEW APPLICATION

ON FILE : see MART LOPEZ

For Applicant Use			Section 509.8.A Submission requirements	For Planning Board Use			
Provided	Waiver Request	Not Applicable		Received	On File	Waived	Not Applicable
			Peak hour traffic				
			Traffic counts				
			Traffic accident data				
			Road capacities				
			Traffic signs, signals				
			STORMWATER & EROSION				
			Method for handling stormwater shown				
			Flow direction				
			Catch basins, dry wells, ditches, etc.				
			Engineering Analysis of stormwater				
			Erosion control measures				
			Hydrologist groundwater impact				
			Utility plans for all utilities				
			Cross-section profile of roads, walks				
			Construction drawings of roads, utilities				
			Cost analysis of project and financial capability demonstrated				
			Phosphorus control plan if in watershed of a great pond				
			Submission of waiver requests				
			Copies of state, federal applications, permits, &/or licenses required for this project				
			Condition A.				
			Condition B.				
			Condition C.				
			Condition D.				
			Condition E.				

This application was first looked at by the Planning Board on ____ / ____ / ____ but does not create vested rights in the initiation of the review process.

By vote of the Board this application requires an on-site inspection: _____ Yes _____ No
 If yes, an onsite inspection is scheduled for ____ / ____ / ____ at ____ : ____ ____ AM ____ PM

By vote of the Board this application requires a public hearing: _____ Yes _____ No
 If yes, public hearing is scheduled for ____ / ____ / ____ at ____ : ____ ____ AM ____ PM

Conditions of Approval for Formal Site Review: _____

Planning Board Chair

____ / ____ / ____
Date

Site Review and Shoreland Zoning Review Fees:

Type of fee	Fee	Units or Comments
Application – sketch plans, Rough design	\$75.00	Each application (no other fees)
Application – formal	\$150.00	Each application + fees below
Notification of Abutters	\$0.75 per	All abutters within 500 ft. of the property must be notified.
Approval extension, Planning Board Approval only	\$50.00	One extension only (no other fees)
Escrow, minimum amount	\$700.00	When required by Planning Board
Extension of approval	\$100.00	Before approval expires
Auto graveyards, recycle business	\$5.00	Per vehicle storage slot (parking space)
Junkyard, Storage Lots	\$1.50	Per ft of outside storage
Residential Towers	\$20.00 + \$5.00 per \$1,000.00	Based on Cost of Work
Commercial Towers	\$20.00 + \$10.00 per \$1,000.00	Based on Cost of Work
Notifications	\$75	Each Notification, First Class Mail sent by Town

1. **Building and Structures** may include up to five times the footprint area of the building for grounds improvements, exclusive of the building footprint, as part of the building review fee.

2. **Building and Grounds Improvement Fees.** The sum of these two fees may be limited to \$2,500.00 per application at the discretion of the Planning Board. (Junkyards, auto graveyards, recycling business, and towers excluded.

3. **Reduced Fees:** The Planning Board may, upon application therefore, allow a reduced total site review fees to \$50.00 in any case which it determines that the work for which the permit is sought will be performed within the Shoreland Zone. The project shall be intended solely for the purpose of protecting a Great Pond, Stream, River, or other Natural Resources through the implementation of Conservation, Best Management Practices, or other environmental safeguards. Also, the project shall not result in the enlargement of any building or structure or an intensification of the existing use of the property.

4. **Review Escrow Funds** may be used by the Town to pay for professional reviews an advice requested by the Planning Board or Code Enforcement Officer related to the applicant's proposed development. Review escrow funds deposited by the applicant not spent during the course of the Town's review shall be returned to the developer within sixty days after the Planning Board's decision on the application is final. If Professional review and advice fees exceed the amount deposited, the developer shall pay the amount outstanding before final approval or any permit is granted.

**Town of Poland, Maine
PLANNING BOARD AGENDA REQUEST**

Date of meeting you are requesting to be scheduled for: 07 / 15 / 20 Meetings are normally conducted from 7:00 to 10:00 PM in the Municipal Conference Room at the Town Office
Map 15 Lot 18B Sub-lot _____

Applicant's Name: Gregory L. Lucini - ISM Solar Development, LLC
Mailing Address: 940 Waterman Avenue
Town, State, Zip: East Providence, RI 02914
Home Phone: _____ Hours: _____
Work Phone: 401-435-7900 Hours: _____

Type of application: Sketch Plan ☒ Site Review ☐ Shoreland ☐ Subdivision ☐ Informational
Road location for project: 1484 Maine Street
Zoning: DOWNTOWN VILLAGE Lake Watershed: NA Nature of
business to be discussed (Brief description): Application for use of office
space for commercial solar development company (ISM solar
Development, LLC).

IMPORTANT - READ CAREFULLY:

This Office must receive the original application, plus nine (9) copies, a digital PDF copy (on either cd or usb), and appropriate fees by Friday at 1:00 p.m., eleven (11) days before the stated meeting to be put on the upcoming agenda.

- New business is scheduled on the agenda in the order this office receives this form.
- If you want your application reviewed for contents prior to the meeting, it must be in this office 14 days before the meeting.
- Should the Board choose to adjourn before all business is addressed, all remaining business will be tabled until the next available meeting.
- Unfinished business is conducted before new business is addressed.

Applicant's Signature: X Keen Date: 6 / 30 / 2020

OFFICE USE ONLY:

Request Taken By: _____ Date: ____ / ____ / ____ Time: ____ : ____ a.m. p.m.

6/29/2020

Re: ISM Solar Development, LLC

Please be advised that ISM Solar Development, LLC has signed a lease to rent unit 2 at 1484 Maine Street. They are authorized to occupy the space subject to approval of their business by the Poland Planning Board.

If you have any questions, please call me at 603-479-9095.

Thank you,

A handwritten signature in blue ink, appearing to read 'Mark Lopez', is written over the printed name.

Mark Lopez

SHORELAND ZONING APPLICATION

Prepared for:
Jeanette & William Almy
23 Nash Lane
Poland, ME 04274

Regarding Property Located at

**23 Nash Lane
Poland, Maine 04274**

Prepared by:
DAVIS LAND SURVEYING

Stuart A. Davis
Professional Land Surveyor #2208
64 Old County Road – Oxford, Maine 04270
990 Minot Avenue - Auburn, Maine 04210

July 14, 2020

Davis Land Surveying, LLC

Mailing Address: 64 Old County Road – Oxford, ME 04270

Office Address: 990 Minot Avenue - Auburn, ME 04210

(207) 345-9991 office

(207) 782-3685 office

(207) 240-9949 cell

Email: stuart@davislandsurveying.net

www.davislandsurveying.net

July 14, 2020

Planning Board
Town of Poland
1231 Maine Street
Poland, Maine 04274

Re: Shoreland Zoning Application – William & Jeanette Almy, 23 Nash Lane, Poland
(TM 34-16)

Dear Members of the Board:

Enclosed please find a copy of a Shoreland Zoning Application and supporting documents. The scope of the project is to add a 12'x27' two second story addition onto an existing house (See attached Site Plan). The new addition is to be placed on a frost wall with finish floor elevation of 310 or above and roof peak to match existing 25' height.

We have consulted with Nicholas Adams regarding required permitting for this project (see attached letter from N. L. Adams and Associates).

Silt fence and/or erosion control mulch barriers will be installed before construction and will be maintained throughout the course of the construction phase.

We look forward to any feedback and/or suggestions to help make this project come together. Feel free to call if you have any questions and or concerns.

Respectfully,



Stuart Davis - ME PLS #2208

N.L. Adams and Associates

490 Harrison Road
Naples, ME 04055
207-841-0935

adamsconstruction@live.com

Davis Land Surveying
64 Old County Road
Oxford, ME 04270

RE: 23 Nash Lane, Shoreland Zoning Application Dwelling Addition

Stuart

You asked me to review your proposed expansion of the existing dwelling located at 23 Nash Lane, shown on the Town of Poland Tax Map 34 as Lot 16. According to your survey the property contains about one (1) acre of lot area. The property is located at the end Nash Lane has shore frontage along on Upper Range Pond (Great Pond). The property is completely located within the Limited Residential District (LR) Zoning District associated with Upper Range Pond (Great Pond). The property is a legal non-conforming lot of record.

The property currently has a single-family dwelling that was previous permitted by the Town and constructed in the 1990's, has a subsurface wastewater disposal system that was installed in 1994 and is accessed by a gravel driveway. According to your survey the current dwelling is located within the one hundred (100) feet of the Normal High-Water Line (NHWL) of Upper Range Pond with a setback of seventy-five (75) feet from the NHWL to the closet part of the structure.

Your proposal is to construct a one hundred fifty-nine (159) square foot two (2) story addition on the southwestern side of the dwelling. The proposed addition will be constructed on a frost wall with the lowest floor being at least one (1) foot above the Base Flood Elevation (BFE). The total existing and proposed non-vegetated surfaces within the shoreland zone of the lot is four thousand six hundred and five (4,605) sq. ft. which is about nine-point nine (9.9%) percent of the lot area.

The total footprint of existing dwelling within one hundred (100) feet of the NHWL is five hundred ninety (590) sq. ft. Pursuant to Ch. 5 § 504.3.A of the Town of Poland Comprehensive Land Use Code (CLUC), a legal non-conforming structure may be expanded by a total of all structures to a total one thousand five hundred (1,500) sq. ft. or an expansion of thirty (30%) of the footprint that existed on January 1, 1989 whichever is greater for structures between seventy-five (75) feet and one hundred (100) from the NHWL, with a total height of twenty-five (25) feet tall or the height of the structure within the shore setback. Therefore, the proposed one hundred fifty-nine (159) sq. ft. addition that is the same height as the existing structure is permitted under this section.

N.L. Adams and Associates

490 Harrison Road
Naples, ME 04055
207-841-0935

adamsconstruction@live.com

As stated above the existing NHWL shore setback to the existing structure is seventy-five (75) feet. The proposed expansion will be setback approximately eighty-five (85) feet from NHWL of Upper Range Pond and thirty-eight (38) feet from a forested wetland associated with Upper Range Pond. The forested wetland is not shown on the Official Town of Poland Zoning Map nor is the forested wetland defined as a wetland for shoreland zoning purposes, therefore the Town does not have a setback off the forested wetland.

Ch. 14 Definitions CLUC

Freshwater Wetland - Shoreland Zoning: Freshwater swamps, marshes, bogs and similar areas which are:

A. Of ten or more contiguous acres; or of less than ten (10) contiguous acres and adjacent to a surface water body excluding any river, stream or brook such that in a natural state, the combined surface area is in excess of ten (10) acres; and

B. Inundated or saturated by surface or ground water at a frequency and for a duration sufficient to support, and which under normal circumstances do support, a prevalence of wetland vegetation typically adapted for life in saturated soils. C. This definition does not include forested wetlands. Freshwater wetlands may contain small stream channels or inclusions of land that do not conform to the criteria of this definition.

Wetland - A freshwater wetlands

However, because the forested wetland is adjacent to a great pond the wetland is defined as a Wetland of Special Significance (WOSS). WOSS's are regulated by the Maine Department of Environmental Protection (MDEP) if you proposed to construct within the WOSS.

See Title 38 **§480-C** of the State of Maine Revised Statues;

§480-C. Prohibitions

1. Prohibition. A person may not perform or cause to be performed any activity listed in subsection 2 without first obtaining a permit from the department if the activity is located in, on or over any protected natural resource or is located adjacent to any of the following:

A. A coastal wetland, great pond, river, stream or brook or significant wildlife habitat contained within a freshwater wetland; or

B. Freshwater wetlands consisting of or containing:

N.L. Adams and Associates

490 Harrison Road
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- (1) Under normal circumstances, at least 20,000 square feet of aquatic vegetation, emergent marsh vegetation or open water, except for artificial ponds or impoundments; or*
- (2) Peatlands dominated by shrubs, sedges and sphagnum moss.*

A person may not perform or cause to be performed any activity in violation of the terms or conditions of a permit.

2. Activities requiring a permit. *The following activities require a permit:*

- A. Dredging, bulldozing, removing or displacing soil, sand, vegetation or other materials;*
- B. Draining or otherwise dewatering; [*
- C. Filling, including adding sand or other material to a sand dune; or*
- D. Any construction, repair or alteration of any permanent structure.*

Given that the proposed expansion will be over seventy-five (75) from the NHWL of Upper Range Pond, no permit from MDEP will be required as the department does not have adjacency jurisdiction for a WOSS, the department would however have jurisdiction with the proposed activity was within the WOSS or within seventy-five (75) from the NHWL of Upper Range Pond.

Therefore, the proposed one hundred fifty-nine (159) sq. ft. addition that is the same height as the existing structure and is located no closer to the NHWL of Upper Range Pond the expansion is in compliance with Ch. 5 § 504.3.A of the CLUC.

In conclusion, we believe YOU have designed this project in conformance with the Town's ordinance requirements. If you have any questions or concerns, feel free to contact me.

Respectfully Yours,

Nicholas L. Adams, Principal
N.L. Adams and Associates

**Jeanette & William Almy
Shoreland Zoning Application
Poland Tax Map 34, Lot 16**

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Exhibit 3	Map of Abutters & List of Abutters
Exhibit 4	Assessors Card
Exhibit 5	Zoning Map
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Exhibit 7	HHE 200 – 1995 Septic Design
Exhibit 8	Flood Insurance Map
Exhibit 9	Location Map & Photos
Exhibit 10	Site Plan & Profile

Formal Shoreland Zoning Application



Town of Poland Planning Board

Application Form – Page 2

Submission Checklist – Page 5

Phosphorus Calculation Form – Page 7

Fee Schedule – Page 9

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INSTRUCTIONS:

1. Please complete pages two through ten. Obtain or get copies of information as required by the application on these pages.
2. Use the checklist on pages five and six to make sure submission requirements are met. The checklist is a summary of the standard requirements in the Comprehensive Land Use Code.
3. All waiver requests will require a written statement.
4. **A total of ten (10) copies of the application and required submissions as well as one digital PDF copy (on either cd or usb). Please submit these copies and the original application as well as any fees (see fee schedule) to the Code Enforcement Office by 1:00 pm eleven (11) days prior to the stated meeting.**

Applicant Name:

Date of Board Review:

Application

PARCEL INFORMATION:			
Parcel ID:	34-16		
Lake Watershed:	Middle Range Pond		
Road Location:	23 Nash Lane		
Lot Size:	46,290 (sq. ft.)	Year Created:	Unknown
Shore Frontage:	+/-600 (ft.)	Road Frontage:	N/A (ft.)
Zone:	Limited Residential	Flood Zone:	Zone AE (EL 309 Feet)
Aquifer Overlay:	1	Current Use:	Residential Home

OWNER INFORMATION:	
Name:	Jeanette & William Almy
Mailing Address:	23 Nash Lane, Poland, Maine 04274
Phone #:	802-999-3395

APPLICANT INFORMATION:	
Applicant Is:	<input checked="" type="checkbox"/> Landowner <input type="checkbox"/> Contractor <input type="checkbox"/> Renter <input type="checkbox"/> Buyer <small>*If applicant is landowner, write "SAME" below. If not the landowner, please submit a letter of permission to construct on or use the land, and complete below.</small>
Name:	
Mailing Address:	
Phone #:	

THIS APPLICATION IS FOR:	
<input type="checkbox"/> New Development <input type="checkbox"/> Change of Use <input type="checkbox"/> Expansion of Use <input checked="" type="checkbox"/> Expansion/Replacement of Structure(s) <input type="checkbox"/> Resumption of Use	

Existing Lot Conditions

1. GENERAL	
A. Does this lot have any development? (If no, go to proposed development)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
B. Is there an existing well?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
C. Is there an existing Septic System?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
D. Is there an existing road entry?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
<ul style="list-style-type: none"> If YES include any changes or modifications on plans. If NO please submit a copy of appropriate Road/Entrance Application. 	
E. Will there be any existing structures removed?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
<ul style="list-style-type: none"> If YES, submit information about the structure and how it will be disposed of. 	
2. EXISTING LAND DEVELOPMENT & IMPROVEMENTS NOT INCLUDING BUILDINGS	
A. Size of lawns:	(sq. ft.)
B. Size of fields:	(sq. ft.)
C. Size of driveways/roads:	2990.7 (sq. ft.)
D. Size of paths or other non-vegetated areas:	(sq. ft.)
E. Size of wetlands already filled	(sq. ft.)

3. EXISTING MAIN STRUCTURE		
A. Ground Footprint:	1200.4	(sq. ft.)
B. Total gross floor space (exterior dimensions of all floors):	784.2	(sq. ft.)
C. Road frontage setback:		(ft.)
D. Side setback:		(ft.)
E. Rear setback:		(ft.)
F. Distance to Great Pond:	75	(ft.)
G. Distance to stream:		(ft.)
H. Distance to wetlands:	51	(ft.)
Foundation:	<input type="checkbox"/> Full Basement <input checked="" type="checkbox"/> Frost Walls <input type="checkbox"/> Slab <input type="checkbox"/> Piers	
4. EXISTING ACCESSORY STRUCTURE		
A. Total number of structures:		
B. Total ground footprint:		(sq. ft.)
C. Total floor space:		(sq. ft.)
D. Closest road setback:		(ft.)
E. Closest side setback:		(ft.)
F. Closest rear setback:		(ft.)
G. Distance to Great Pond:		(ft.)
H. Distance to Streams:		(ft.)
I. Distance to Wetlands:		(ft.)
5. TOTAL EXISTING IMPERVIOUS SURFACES		
A. Add 2c + 2d + 3a + 4b:	4191.1	(sq. ft.)
B. Divide this by lot size in square feet x 100%:	9.1	%
*This number cannot exceed 15%		

Proposed Development

1. WETLANDS TO BE IMPACTED:	0	(sq. ft.)
2. CHANGES IN LANDSCAPE(Can be negative value for size reduction)		
A. Changes in lawn size:		(sq. ft.)
B. Changes in buffers:		(sq. ft.)
C. Changes in naturally wooded areas:		(sq. ft.)
D. Total opening in forest canopy:		(sq. ft.)
3. CHANGES IN FOOTPRINT(S) AND DEVELOPED AREA(S)		
A. Changes in building footprint(s):	414	(sq. ft.)
B. Changes in driveway/roadway:		(sq. ft.)
C. Changes in patios, walkways, etc:		(sq. ft.)
D. Total changes to impervious surfaces (3a + 3b + 3c):	414	(sq. ft.)
4. PERCENTAGE OF LOT COVERED BY IMPERVIOUS SURFACES		
A. 5. (Total existing impervious surfaces) + 3d (above)/total lot square footage x 100%	9.9	%
*This number cannot exceed 15%		

Required Submissions

Attach drawings and/or statements describing the following items if applicable:

- Provide a copy of deed and Tax Assessors Information Card.
- Provide a map of the general area showing land features within at least a ½ mile of this lot.
- Provide site plans(s) of your lot with existing development and its dimensions shown.

- *Include: Dimensions, location, and distances of lot lines. Lawns, wooded areas, roadways, high water lines, driveways, septic system, walkways, and structures.*
- *Show names of roads and water bodies*
- Provide site plan(s) of your lot with proposed development and its dimensions shown (*may be combined on existing development drawing*).
- Provide detailed plans of proposed structural development and changes.
- Provide phosphorus loading calculations.
- Provide prepared buffer plan if needed for building expansion.
- Anticipated date for start of construction.
- Anticipated date for completion of construction.
- Submission requirements shall follow sections 508.30 and 509.8 of the Comprehensive Land Use Code. Copies of the code are available for viewing at the Town Office, Library, and on the Code Enforcement page of the website, www.polandtownoffice.org. Copies can be purchased in the Code Enforcement Office.
- Use Checklist on page five for a summary of usual requirements.
- Any other requirements unique to your project added by the Planning Board.

Please list all state and federal approvals, permits, and licenses required for the project:

Disclosure

1. I hereby acknowledge that I have read this application and pertinent sections of the ordinances, and state that the information in this document is to the best of my knowledge true and accurate. I agree to comply with all of the Town of Poland's ordinances and the State of Maine's statutes regulating the activities sought in this application as well as any permit(s) approved for this application.
2. I understand that all construction of structures shall conform to the *Maine Uniform Building and Energy Code* and the *NFPA 101 Life Safety Code, 2009*.
3. I understand that any approval is valid for only the use(s) as specified in this application. The permitting authority must approve any change(s) made to the use(s) sought in the application. Any approval issued for this application is approved on the basis of truthful information provided by the applicant(s), and as allowed by the ordinances of the town.
4. I understand that it is my responsibility to assure that the lot description herein accurately describes its ownership, its boundary lines, and the setback measurements from the legal boundary lines.
5. I understand that I have the burden of proof as to the legal right to use the property, and that approval of this application in no way relieves me of this burden. Any approval issued does not constitute a resolution in favor of me or the landowner in any matters regarding the property boundaries, ownership, or similar ties.
6. I understand that all necessary **Building and Use Permits** shall be secured from the Code Enforcement Office after the Planning Board grants approval of this application.
7. I understand that a **Certificate of Occupancy** shall be required prior to the start of any use or occupancy associated with this application unless a signed written waiver is issued with the permit. Fines and penalties may be issued if use or occupancy is stated prior to the issuance of the certificate.
8. I understand that the approval becomes invalid if construction or use has not commenced within twelve (12) months of the approval date, construction is suspended for more than six (6) months and no notice for just cause is submitted prior to the end of the six (6) months, or it is found that false statements have been furnished in this application.
9. I understand that if I fail to comply with the aforementioned statements, a **"STOP WORK"** order may be issued for which I will immediately halt any construction and/or use(s) that are approved for this application. This failure may also require that I return the property to its natural state or as closely thereto before the use(s) was/were approved.
10. I understand that failure to follow these requirements will lead to **Violation Notices** and Citations that have fines and penalties. This in turn can lead to civil proceedings in District Court.
11. I understand that all **state and federal permits** are my responsibility as the applicant and/or owner.

Applicant Signature:	<div style="text-align: right; margin-bottom: 10px;">Date:</div> <hr style="border: 0.5px solid black;"/>
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Submissions Checklist

The following list is the information required by section 508.30 and 509.8 of the Comprehensive Land Use Code for the Town of Poland. Please check in the column on the left if the information has been provided, a waiver has been requested, or you believe the information is not applicable to your application. If a waiver has been requested, or the information is not applicable, a written explanation is required.

FOR APPLICANT USE				FOR PLANNING BOARD USE			
Provided	Waiver	N/A	<u>Section 509.8A "Submission Requirements"</u>	Received	On File	Waived	N/A
X			Site Plan drawings				
X			Signed copy of application				
X			Name & Address of owner				
X			Name & Address of all abutters within 500 feet of your lot				
X			Map of general location				
X			Show all adjacent properties				
X			Name, Map & Lot numbers on drawings				
X			Copy of Deeds & Agreements				
X			Name of designer on plans				
			<u>Section 508.30 Shoreland Areas</u>				
X			Structure & Site Plan drawing				
X			New structure set back 100' from lake, 75' from streams & wetlands				
			Water dependent structures indicated				
X			Setbacks or structures shown in drawings				
X			Show all structures				
X			Side and road setbacks shown				
			Need for larger than required setbacks				
			Steep slopes shown				
			Multiple Principle Structures have required land area				
		X	<u>Piers, Wharves, Bridges</u>				
			Shore access soils described				
			Locations of development and natural beaches shown				
			Effect on fish & wildlife				
			Dimensions of structures shown				
			Superstructure on piers				
			Use of pier superstructures				
			Permanent structures have DEP permit				
		X	<u>Individual Private Campsites</u>				
			Show land area for each site				
			Campsite setbacks are shown				
			Type of development for sites				
			Amount of clearing for vegetation				
			Sewage disposal plan				
			SSWS approved if used > 120 days				
			<u>Parking Areas</u>				
			Parking areas setbacks shown				
			Parking areas sized & designed for storm water				
			<u>(Part one) Driveways Only</u>				

FOR APPLICANT USE				FOR PLANNING BOARD USE			
Provided	Waiver	N/A	<u>Section 509.8A "Submission Requirements"</u>	Received	On File	Waived	N/A
			Setbacks as required				
			State reasons for location in Resource Protection				
			Culverts				
		X	<u>(Part two) Road Only</u>				
			Setbacks as required				
			Reasons stated for location in Resource Protection				
			Road expansion according to Chapter 8				
			Road slopes shown < 2H:1V				
			Road Grades < 10%				
			Buffer plan between road and water body				
			Ditch relief shown				
			Turnout spacing shown				
			Drainage dips when < 10% slope				
			Culverts shown				
			Show relief sizing and stabilization				
			<u>Storm water runoff</u>				
			Plans show storm water runoff and retaining areas				
			<u>Clearing of vegetation for development OR individual campsites</u>				
			Cutting of vegetation < 100' from shoreline				
			Preservation of buffer strip				
			Plan showing existing trees and planned cutting				
			Clearing < 40% basal area in any 10 year period				
			Preservation of vegetation < 3' high				
			Pruning of limbs on lower 1/3 of trees				
			Plan of removal and replacement of dead and diseased trees				
			Tree removal plan > 100' and < 250' from shoreline				
			Non-conforming lot legally existing				
			Fields reverted to woodlands follow forested rules				
		X	<u>Shoreland Access Held In Common</u>				
			Proper water frontage for number of lots that hold access in common				
		X	<u>Single Family Home in Resource Protection District</u>				
			No place on lot outside Resource Protection where home can be located				
			Lot undeveloped				
			Location of all improvements				
			Slopes > 20%				
			Development 1 ft. above 100 year floodplain				
			Development outside floodplain				
			Total ground footprint < 1500 sq. ft.				
			Structures > 150 ft. from waterline				
X			<u>Phosphorus Calculations</u>				
X			<u>Copies of state, federal permits (if applicable)</u>				

This application was first looked at by the Planning Board on ____ / ____ / ____ but does not create vested rights in the initiation of the review process.

By vote of the Board this application requires an on-site inspection: _____ Yes _____ No

If yes, an onsite inspection is scheduled for ____ / ____ / ____ at ____ : ____ ____ AM ____ PM

By vote of the Board this application requires a public hearing: _____ Yes _____ No

If yes, public hearing is scheduled for ____ / ____ / ____ at ____ : ____ ____ AM ____ PM

Conditions of Approval: _____

Planning Board Chair

____ / ____ / ____
Date



Phosphorus Calculation Form



The Code Enforcement Officer or Planning Board shall review and approve a Phosphorus Management Control Application based on one of the following methods.

POINT SYSTEM

The Applicant shall meet or exceed thirty (30) points based on the following schedule:

PROPOSED PHOSPHORUS CONTROL MEASURES (Check those proposed)	POINTS ALLOWED (By CEO or Planning Board)
10 Points for correcting an existing erosion problem on the project site.	
10 Points for a clearing limitation of <15,000 sq. ft. or <20% of lot.	
15 Points for a clearing limitation of <10,000 sq. ft. or <15% of lot.	15
15 Points for the installation of rock lined drip edges or other infiltration system to serve the new construction.	15
20 Points for a 50 foot wide buffer.	
25 Points for a 75 foot wide buffer.	
30 Points for a 100 foot wide buffer.	
TOTAL	30

Authorized Signature:

Date:

Code Enforcement Officer or Planning Board Chair

Jeanette & William Almy
23 Nash Lane
Poland, ME 04274

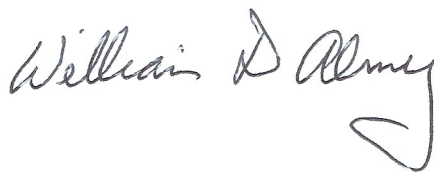
June 19, 2020

Town of Poland
Planning Board
1231 Maine Street
Poland, Maine 04274

Dear Board Members,

I authorize Stuart Davis of Davis Land Surveying, LLC to act as my agent in presenting the Shoreland Zoning Application as presented before you.

Sincerely,

A handwritten signature in dark ink, appearing to read "William D. Almy". The signature is written in a cursive style with a large, sweeping "W" and a distinct "D".

TOWN OF POLAND



Planning Board Agenda Request

FOR OFFICIAL USE ONLY

Date Received	
Time Received	
Received By	
Parcel ID	
Meeting Date	

Meetings are normally conducted from 7:00 to 9:00 pm in the Town Office Conference Room on the second and fourth Tuesday of each month.

07 / 14 / 2020

Date of the meeting you are requesting to be scheduled for

Applicant's Name:	Jeanette and William Almy
Mailing Address:	23 Nash Lane
Town, State, Zip:	Poland, Maine 04274
Phone Number:	802-999-3395

Type of Application:	<input type="radio"/> Sketch Plan <input type="radio"/> Site Review <input checked="" type="radio"/> Shoreland <input type="radio"/> Subdivision <input type="radio"/> Informational				
Map, Lot:	34-16				
Road Location:	23 Nash Lane				
Zoning:	Limited Residential		Lake Watershed:	Middle Range Pond	
Project Description:	Proposed 12'x 27' two story addition to existing home.				

IMPORTANT INFORMATION:

- This office must receive the original application, plus nine (9) copies, one digital PDF copy (on either cd or usb), and appropriate fees by Friday at 1:00 pm, eleven days (11) prior to the stated meeting to be put on the upcoming agenda.
- New business is scheduled on the agenda in the order this office receives this form.
- If you want your application reviewed for contents prior to the meeting, it must be in this office fourteen days prior to the stated meeting.
- Should the board choose to adjourn before all business is addressed, all remaining business will be tabled until the next available meeting.
- Unfinished business is conducted before new business is addressed.

Applicant Signature:	Date:
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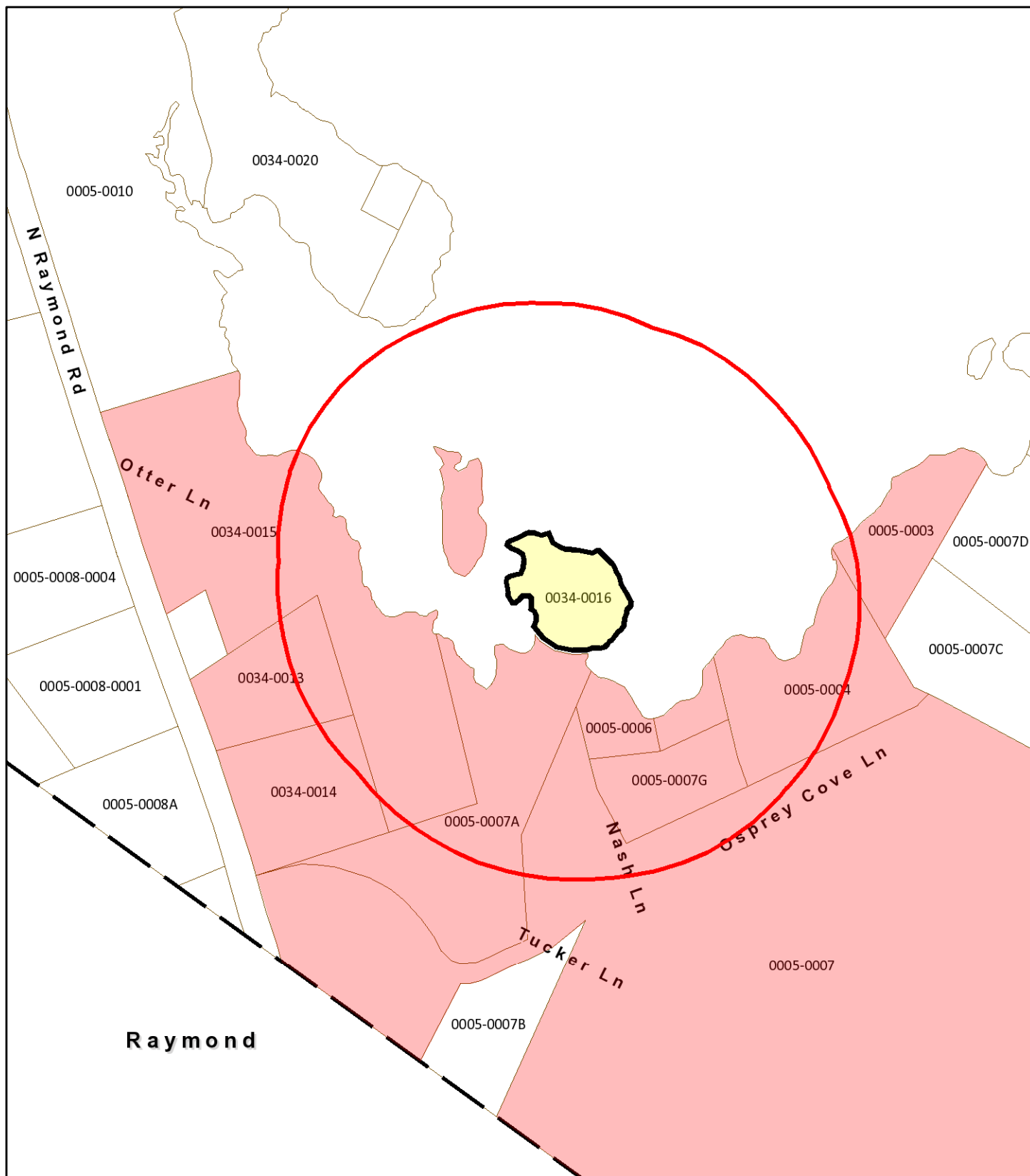
Abutters w/in 500' of TM 34-16

23 Nash Lane, Poland, ME

1 inch = 300 Feet



February 25, 2020



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



500 foot Abutters List Report

Poland, ME
February 25, 2020

Subject Property:

Parcel Number: 0034-0016
CAMA Number: 0034-0016
Property Address: 23 NASH LANE

Mailing Address: ALMY, JEANETTE R.
850 MAIN ST.
FRYEBURG, ME 04037

Abutters:

Parcel Number: 0005-0003
CAMA Number: 0005-0003
Property Address: 54 OSPREY COVE LANE

Mailing Address: THORNTON, DANIEL P.
37 TWIN PONDS DRIVE
FALMOUTH, ME 04105

Parcel Number: 0005-0004
CAMA Number: 0005-0004
Property Address: 12 BLACKBERRY LANE

Mailing Address: MOYER, MARYKAY T.
5 ROCKCREST DR.
CAPE ELIZABETH, ME 04107

Parcel Number: 0005-0004
CAMA Number: 0005-0004
Property Address: 12 BLACKBERRY LANE

Mailing Address: MOYER, MARYKAY T.
5 ROCKCREST DR.
CAPE ELIZABETH, ME 04107

Parcel Number: 0005-0004
CAMA Number: 0005-0004
Property Address: 12 BLACKBERRY LANE

Mailing Address: MOYER, MARYKAY T.
5 ROCKCREST DR.
CAPE ELIZABETH, ME 04107

Parcel Number: 0005-0004
CAMA Number: 0005-0004
Property Address: 12 BLACKBERRY LANE

Mailing Address: MOYER, MARYKAY T.
5 ROCKCREST DR.
CAPE ELIZABETH, ME 04107

Parcel Number: 0005-0005
CAMA Number: 0005-0005
Property Address: 9 BLACKBERRY LANE

Mailing Address: MOYER, DAVID J.
5 ROCK CREST DR.
CAPE ELIZABETH, ME 04107

Parcel Number: 0005-0006
CAMA Number: 0005-0006
Property Address: 21 NASH LANE

Mailing Address: TIBBETTS, LISA E.
358 NORTH RAYMOND RD.
RAYMOND, ME 04071

Parcel Number: 0005-0007
CAMA Number: 0005-0007
Property Address: 63 TUCKER LANE

Mailing Address: JONES, RICHARD R.
63 TUCKER LANE
POLAND, ME 04274

Parcel Number: 0005-0007
CAMA Number: 0005-0007
Property Address: 63 TUCKER LANE

Mailing Address: JONES, RICHARD R.
63 TUCKER LANE
POLAND, ME 04274

Parcel Number: 0005-0007
CAMA Number: 0005-0007
Property Address: 63 TUCKER LANE

Mailing Address: JONES, RICHARD R.
63 TUCKER LANE
POLAND, ME 04274



www.cai-tech.com

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500 foot Abutters List Report

Poland, ME
February 25, 2020

Parcel Number: 0005-0007
CAMA Number: 0005-0007
Property Address: 63 TUCKER LANE

Mailing Address: JONES, RICHARD R.
63 TUCKER LANE
POLAND, ME 04274

Parcel Number: 0005-0007A
CAMA Number: 0005-0007A
Property Address: OSPREY COVE LANE

Mailing Address: THE JONES FAMILY
63 TUCKER LANE
POLAND, ME 04274

Parcel Number: 0005-0007G
CAMA Number: 0005-0007G
Property Address: OSPREY COVE LANE

Mailing Address: MOYER, DAVID J.
5 ROCK CREST DRIVE
CAPE ELIZABETH, ME 04107

Parcel Number: 0034-0013
CAMA Number: 0034-0013
Property Address: 24 NORTH RAYMOND RD.

Mailing Address: REICHEL, MATT
PO BOX 1805
AUBURN, ME 04210

Parcel Number: 0034-0014
CAMA Number: 0034-0014
Property Address: 16 NORTH RAYMOND RD.

Mailing Address: DARGIE'S ENTERPRISES, INC.
P. O. BOX 31
MINOT, ME 04258

Parcel Number: 0034-0014
CAMA Number: 0034-0014-ON
Property Address: 16 NORTH RAYMOND RD.

Mailing Address: MICHAUD, VELMA R
16 NORTH RAYMOND ROAD
POLAND, ME 04274

Parcel Number: 0034-0015
CAMA Number: 0034-0015
Property Address: 20 OTTER LANE

Mailing Address: GRIFFIN, DOUGLAS M.
42 PINKHAM LANE
CASCO, ME 04015

Parcel Number: 0034-0017
CAMA Number: 0034-0017
Property Address: UPPER RANGE POND

Mailing Address: GRIFFIN, DOUGLAS M.
42 PINKHAM LANE
CASCO, ME 04015



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

2/25/2020

Page 2 of 2



Property Card: 23 NASH LANE

Poland, ME



Parcel ID: 0034-0016
Trio Account #: 2494

Owner: ALMY, JEANETTE R.
Co-Owner:
Mailing Address: 850 MAIN ST.
FRYEBURG, ME 04037

Valuation	Building Sketch
Card Number: 1 Acreage: 2.06 Land Value: \$273,900 Building Value: \$98,000 Total Value: \$98,000 Taxes: \$5,281	NO SKETCH AVAILABLE
Building Information	
Year Built: 1996 Remodded: 0 Living Area (sqft): 0 Basement: 3/4 Basement Finished Basement: 0 Number of Rooms: 0 Number of Bedrooms: 0 Number of Full Baths: 1 Number of Half Baths: 1	Stories: Exterior Walls: WOOD SHINGLE Roofing Materials: Asphalt Shingles Foundation: Concrete Insulation: Full Fireplace: 1 Heating: Units A/C: None Attic: None



Zoning - TM 34-16

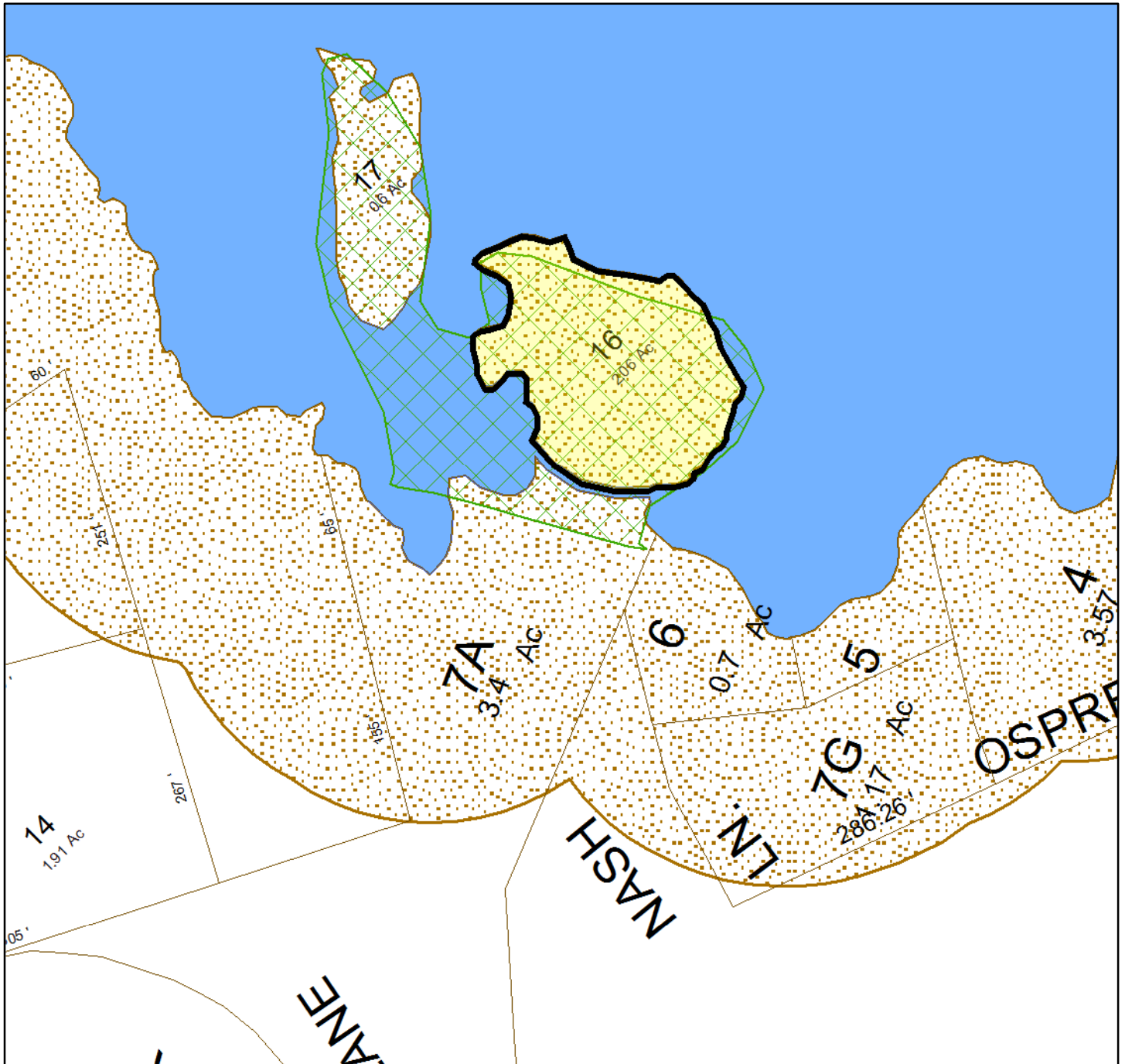
23 Nash Lane, Poland, ME



1 inch = 150 Feet



February 27, 2020



	Parcel Lines - No Orthos		WATER
	Parcel Lines - Orthos		Wetland
	Aquifer Protection Overlay 1		
	Limited Residential		

Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

MAINE REAL ESTATE
TRANSFER TAX PAID

N O T

In Witness Whereof, the Grantor has set his hand and seal on this 18 day of June, 2008.

O F F I C I A L

C O P Y

N O T

AN

~~CONFIDENTIAL~~

~~C O P Y~~

Witness

N O T

And seal on this 18 day of June,

O F F I C I A L

C O P Y

Gledhill Family Trust

dated March 12, 1998

A N

~~OFFICIAL~~

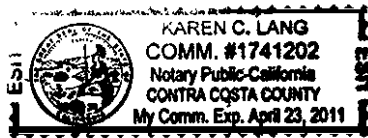
By:

Barton L. Gledhill, Trustee

State of California
Contra Costa, SS.

June 18, 2008

Then personally appeared the above-named **Barton L. Gledhill, Trustee of the Gledhill Family Trust dated March 12, 1998** and acknowledged the foregoing instrument to be his free act and deed in his said capacity.



Before me,

Notary Public: Karen C. Lang
My Commission Expires: April 23, 2017

KAV:odh H:\Clients\Almy\Deed - Trustee's

ANDROSCOGGIN COUNTY
Tina K. Charnord
REGISTER OF DEEDS

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Human Services
Division of Health Engineering
(207)289-3826

PROPERTY ADDRESS	
Town Or Plantation	POLAND SPRING
Street Subdivision Lot #	OFF OF NORTH RAYMOND RD. ON UPPER RANGE FUND
PROPERTY OWNERS NAME	
Last: GLETHILL	First: BARTON
Applicant Name:	K.W. Bennett
Mailing Address of Owner/Applicant (If Different)	21 SARATOGA COURT ALAMO, CA 94507

M34 L16	
POLAND Date Permit Issued: 8.15.95	1558 TOWN COPY \$ 1.160 FEE Double Fee Charged LPI # I.1.8.4
Edward B. Bennett Local Plumbing Inspector Signature	

Owner/Applicant Statement
I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

K.W. Bennett 9/24/95
Signature of Owner/Applicant Date

Caution: Inspection Required
I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules.

Edward B. Bennett 9/21/95
Local Plumbing Inspector Signature Date Approved

PERMIT INFORMATION		
THIS APPLICATION IS FOR: 1. <input type="checkbox"/> NEW SYSTEM 2. <input checked="" type="checkbox"/> REPLACEMENT SYSTEM 3. <input type="checkbox"/> EXPANDED SYSTEM 4. <input type="checkbox"/> EXPERIMENTAL SYSTEM SEASONAL CONVERSION to be completed by the LPI 5. <input type="checkbox"/> SYSTEM COMPLIES WITH RULES 6. <input type="checkbox"/> CONNECTED TO SANITARY SEWER 7. <input type="checkbox"/> SYSTEM INSTALLED - P# 8. <input type="checkbox"/> SYSTEM DESIGN RECORDED	THIS APPLICATION REQUIRES: 1. <input type="checkbox"/> NO RULE VARIANCE 2. <input type="checkbox"/> NEW SYSTEM VARIANCE Attach New System Variance Form 3. <input checked="" type="checkbox"/> REPLACEMENT SYSTEM VARIANCE Attach Replacement System Variance Form a. <input checked="" type="checkbox"/> Requiring Local Plumbing Inspector Approval b. <input type="checkbox"/> Requires State and Local Plumbing Inspector Approval 4. <input type="checkbox"/> MINIMUM LOT SIZE VARIANCE	INSTALLATION IS: COMPLETE SYSTEM 1. <input checked="" type="checkbox"/> NON-ENGINEERED SYSTEM 2. <input type="checkbox"/> PRIMITIVE SYSTEM (Includes Alternative Toilet) 3. <input type="checkbox"/> ENGINEERED (+2000 gpd) INDIVIDUALLY INSTALLED COMPONENTS: 4. <input type="checkbox"/> TREATMENT TANK (ONLY) 5. <input type="checkbox"/> HOLDING TANK _____ GAL

YEAR FAILING SYSTEM INSTALLED 1970 THE FAILING SYSTEM IS: 1. <input type="checkbox"/> BED 3. <input type="checkbox"/> TRENCH 2. <input type="checkbox"/> CHAMBER 4. <input checked="" type="checkbox"/> OTHER: CESSPOOL?	1. <input type="checkbox"/> SINGLE FAMILY DWELLING 2. <input type="checkbox"/> MODULAR OR MOBILE HOME 3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING 4. <input checked="" type="checkbox"/> OTHER SEASONAL CAMP SPECIFY	8. <input type="checkbox"/> ENGINEERED DISPOSAL AREA (ONLY) 9. <input type="checkbox"/> SEPARATED LAUNDRY SYSTEM
SIZE OF PROPERTY 2 AC. ± ZONING SHORELAND	TYPE OF WATER SUPPLY LAKE / HAND CARRIED	

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)			
TREATMENT TANK 1. <input checked="" type="checkbox"/> SEPTIC: <input checked="" type="checkbox"/> Regular <input type="checkbox"/> Low Profile 2. <input type="checkbox"/> AEROBIC SIZE: 1000 GALS.	WATER CONSERVATION 1. <input checked="" type="checkbox"/> NONE 2. <input type="checkbox"/> LOW VOLUME TOILET 3. <input type="checkbox"/> SEPARATED LAUNDRY SYSTEM 4. <input type="checkbox"/> ALTERNATIVE TOILET SPECIFY:	PUMPING 1. <input type="checkbox"/> NOT REQUIRED 2. <input checked="" type="checkbox"/> MAY BE REQUIRED (DEPENDENT ON TREATMENT TANK LOCATION AND ELEVATION) 3. <input type="checkbox"/> REQUIRED DOSE: 50 GALS.	CRITERIA USED FOR DESIGN FLOW (BEDROOMS, SEATING, EMPLOYEES, WATER RECORDS, ETC.) 2 BEDROOMS SEASONAL USE CAMP MINIMUM PER CODE DESIGN FLOW: 180 (GALLONS/DAY)
SOIL CONDITIONS USED FOR DESIGN PURPOSES PROFILE 4 CONDITION C DEPTH TO LIMITING FACTOR: 30	SIZE RATINGS USED FOR DESIGN PURPOSES 1. <input type="checkbox"/> SMALL 2. <input checked="" type="checkbox"/> MEDIUM 3. <input type="checkbox"/> MEDIUM-LARGE 4. <input type="checkbox"/> LARGE 5. <input type="checkbox"/> EXTRA LARGE	DISPOSAL AREA TYPE/SIZE 1. <input checked="" type="checkbox"/> BED 525 Sq. Ft. 2. <input type="checkbox"/> CHAMBER _____ Sq. Ft. <input type="checkbox"/> REGULAR <input type="checkbox"/> H-20 3. <input type="checkbox"/> TRENCH _____ Linear Ft. 4. <input type="checkbox"/> OTHER:	

SITE EVALUATOR STATEMENT

On 12-17-94 (date) I conducted a site evaluation for this project and certify that the data reported is accurate. The system I propose is in accordance with the Subsurface Wastewater Disposal Rules.

John D. Hyley
Site Evaluator Signature
(Local Plumbing Inspector's Signature if permit is for Seasonal Conversion.)

217
SE#

12-22-94
Date

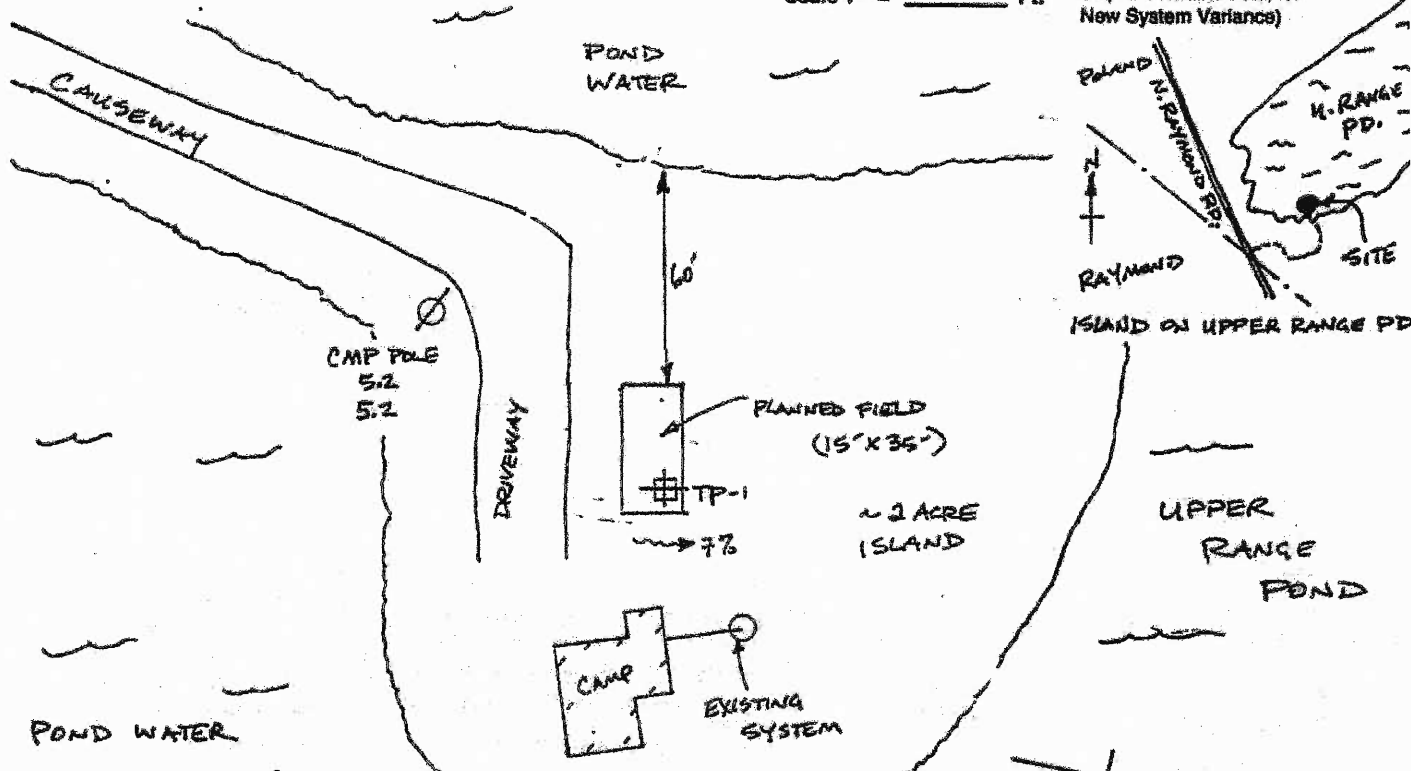
Department of Human Services
Division of Health Engineering

Street, Road, Subdivision

Owners Name

**SITE LOCATION PLAN (Attach
Map from Maine Atlas for
New System Variance)**

Scale 1" = 50 Ft.

[illegible]

Site Evaluator Signature

27
SEP

12-22-94
Date

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Town, City, Plantation

Street, Road, Subdivision

UPPER RANGE
POND

Owners Name

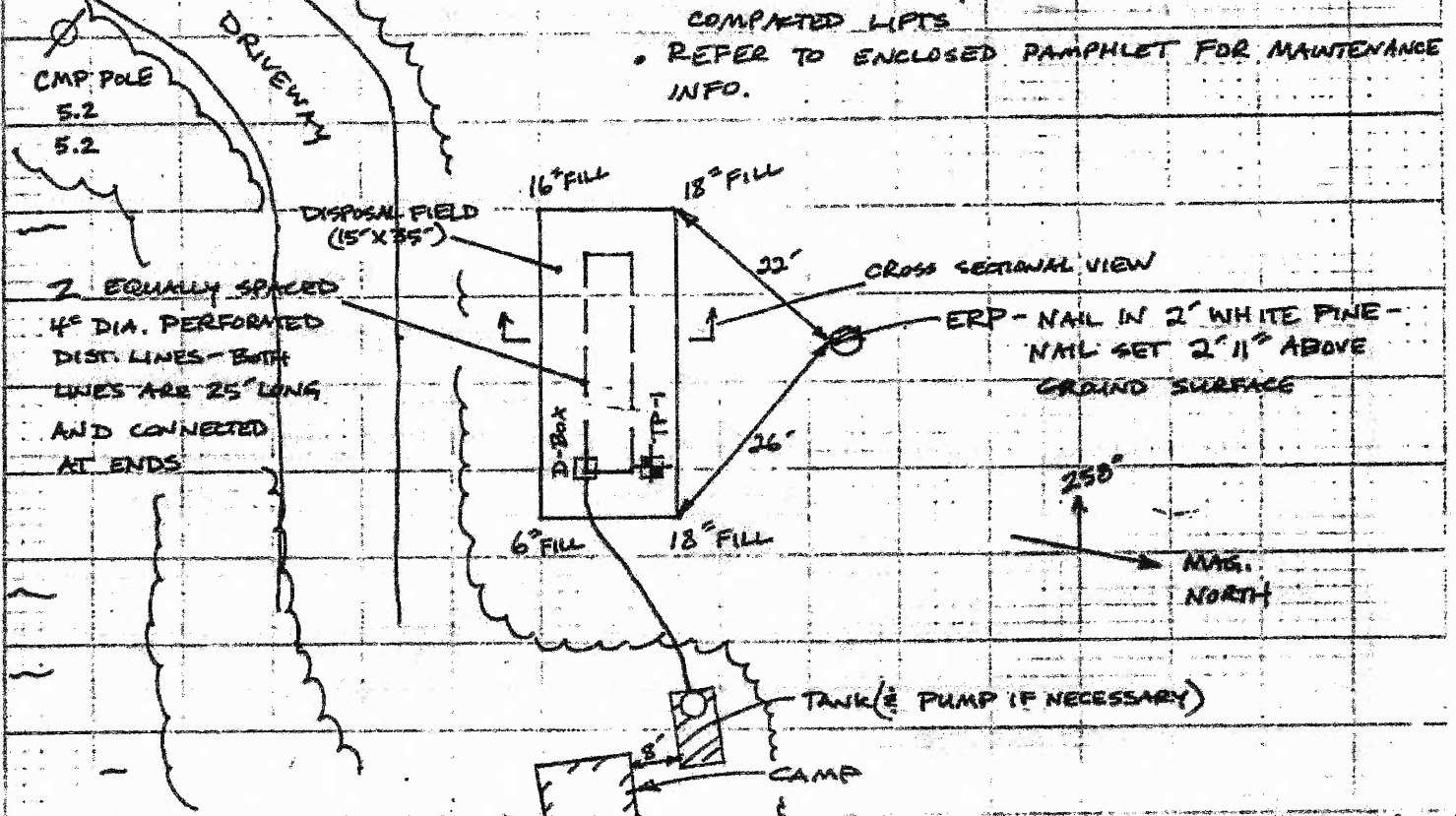
BARTON GLEDHILL

POLAND SPRING

OFF OF N. RAYMOND RD.
SUBSURFACE WASTEWATER DISPOSAL PLAN

Scale 1" = 30' FL

- LOAM, SEED, MULCH ENTIRE AREA
- REMOVE VEGETATION FROM UNDER FILLED AREAS
- FILL - CLEAN LOAMY SAND - PLACED IN 8" COMPACTED LIFTS
- REFER TO ENCLOSED PAMPHLET FOR MAINTENANCE INFO.



FILL REQUIREMENTS

Depth of Fill (Upslope)

Depth of Fill (Downslope)

(SEE CORNERS ABOVE)

CONSTRUCTION ELEVATIONS

Reference Elevation is

Bottom of Disposal Area

Top of Distribution Lines or Chambers

ASSUMED

0'
-46"
-35"

ELEVATION REFERENCE POINT (ERP)

LOCATION & DESCRIPTION

FLAGGED NAIL IN TREE -
SEE ERP ABOVE

Scale:

Vertical: 1 inch = 4' FL

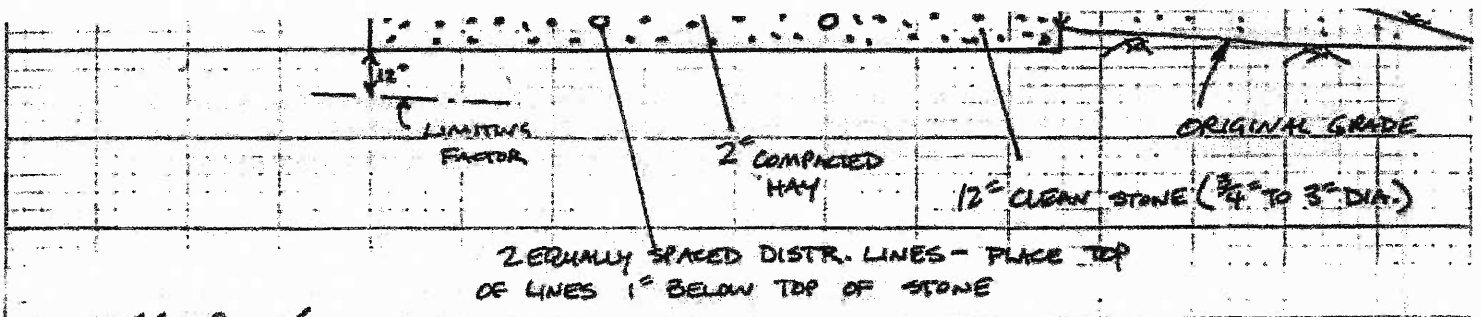
Horizontal: 1 inch = 4' FL

DISPOSAL AREA CROSS SECTION

SHOWING AVERAGE FILL

DEPTHS & EXTENSIONS

12" CLEAN FILL - CROWN AT 3% GRADE THEN TO
ORIGINAL GROUND AS SHOWN



Site Evaluator Signature
Site Evaluator Signature

217

SE#

12-22-94

Date

REPLACEMENT SYSTEM VARIANCE REQUEST

THE LIMITATIONS OF THE REPLACEMENT SYSTEM VARIANCE REQUEST

This form shall be attached to an application for the proposed replacement system which does not comply with the Rules. The LPI shall review the Replacement System Variance Request and Application and may approve the Request if all of the following requirements can be met, and the variance(s) requested fall within the limits of LPI's authority.

1. The proposed design meets the definition of a Replacement System from the rules.
2. A system cannot be designed and installed in total compliance with the Rules.
3. The design flow is less than 500 GPD.
4. There will be no change in use of the structure.
5. The replacement system is determined by the Site Evaluator and LPI to be the most practical method to treat and dispose of the wastewater.

GENERAL INFORMATION

Permit No. _____ E Date Permit Issued _____
Town of Poland
Property Owner's Name: Barton Gled Hill Tel. No. (207) 978-4548 k.w. Bennett
System's Location: Upper Range Pond OFF N. Raymond RD.
Poland Spring STREET Maine 04274 ZIP
TOWN
Property Owner's Address: 21 SARATOGA COURT
(If different from above) ALAMO, CA. STREET 94507 ZIP
TOWN STATE

SPECIFIC INSTRUCTIONS TO THE:

LPI:

If any of the variances exceed your approval authority and/or do not meet all of the requirements listed under the Limitations Section above, they you are to send this Replacement System Variance Request, along with the Application, to the Department for review and approval consideration before issuing a Permit. (See reverse side for Comments Section and your signature.)

SITE EVALUATOR:

If after completing the Application, you find that a variance for the proposed replacement system is needed, then complete the Replacement Variance Request with your signature on reverse side of form.

PROPERTY OWNER:

It has been determined by the Site Evaluator that a variance to the Rules is required for the proposed replacement system. This variance request is due to physical limitations of the site and/or soil conditions. Both the Site Evaluator and the LPI

The OWNER shall sign this statement. Therefore, having read both this Replacement Variance Request and the attached Application, I understand that the proposed system is not in total compliance with the Rules and hereby release all those concerned with this Variance, provided they have performed their duties in a reasonable and proper manner.

B. Gled Hill (P.O.)
PROPERTY OWNER'S SIGNATURE

6-5-95
DATE

VARIANCE CATEGORY	VARIANCE REQUESTED	LIMIT OF LPI'S APPROVAL AUTHORITY		VARIANCE REQUESTED TO:	
SOILS					
	Ground Water Table		to 6"		inches
	Restrictive Layer		to 6"		inches
	Bedrock		to 10"		inches
SETBACK DISTANCES (IN FEET)	FROM:	TREATMENT TANK	DISPOSAL AREA	TREATMENT TANK	DISPOSAL AREA
Potable Water Supplies	1. Well: > 2000 gal/day	100'	300'		
	2. Well: < 2000 gal/day				
	a. Neighbor's	50'	60'		
	b. Property Owner's	25'	50'		
	3. Water Supply Line	See note 'a'			60'
Waterbodies	1. Perennial	50'	60'		
	2. Intermittent	15'	20'		
	3. Manmade drainage ditch	10'	15'		
Downhill Slope	Greater than 3:1 (33%)	5'	10'		
Buildings	1. With Basement	5'	10'		
	2. Without Basement	5'	10'		
Property Line		4'	5'		

OTHER

1. Fill extension Grade—to 3:1

2.

3.

Footnotes:

- This setback distance cannot be reduced by variance. See Table 6-2.
- Written Permission from the owner of a well is required when a replacement system will be located less than 100 feet but closer to that well than the system it is replacing.
- Sufficient distance shall be maintained to assure that the toe of the fill does not extend to the 3:1 slope.

Shirley D. Lytle
SITE EVALUATOR'S SIGNATURE

12-22-94
DATE

LPI STATEMENT

I, R. C. Stanley, LPI for the Town of Poland have conducted an on-site inspection for the proposed replacement system and have determined to the best of my knowledge, that it cannot be installed in total compliance with the Rules, applicable Municipal Wastewater Disposal Ordinances, or the Local Shoreland Zoning Ordinance. As a result of my review of the Replacement System Variance Request, the Application, and my on-site investigation, I (check and complete either a or b):

☒ a. (☐ approve, ☐ disapprove) the variance request based on my authority to grant this variance. Note: If the LPI does not give

Department's approval of the variances. Note: If the LPI does not recommend the Department's approval, he shall state his reasons in Comments Section below as to why the proposed replacement system is not being recommended.

Comments:

R. C. Stanley
LPI'S SIGNATURE

5-25-95
DATE

FOR USE BY THE DEPARTMENT ONLY

The Department has reviewed the variance(s) and (☐ does ☐ does not) give its approval. Any additional requirements, recommendations, or reasons for the Variance denial, are given in the attached letter.

DATE

National Flood Hazard Layer FIRMette



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
		Area of Undetermined Flood Hazard Zone D
GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
OTHER FEATURES		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **2/27/2020 at 1:49:47 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

43°59'58.60"N



USGS The National Map: Orthoimagery. Data refreshed April, 2019.

0 250 500 1,000 1,500 2,000 Feet

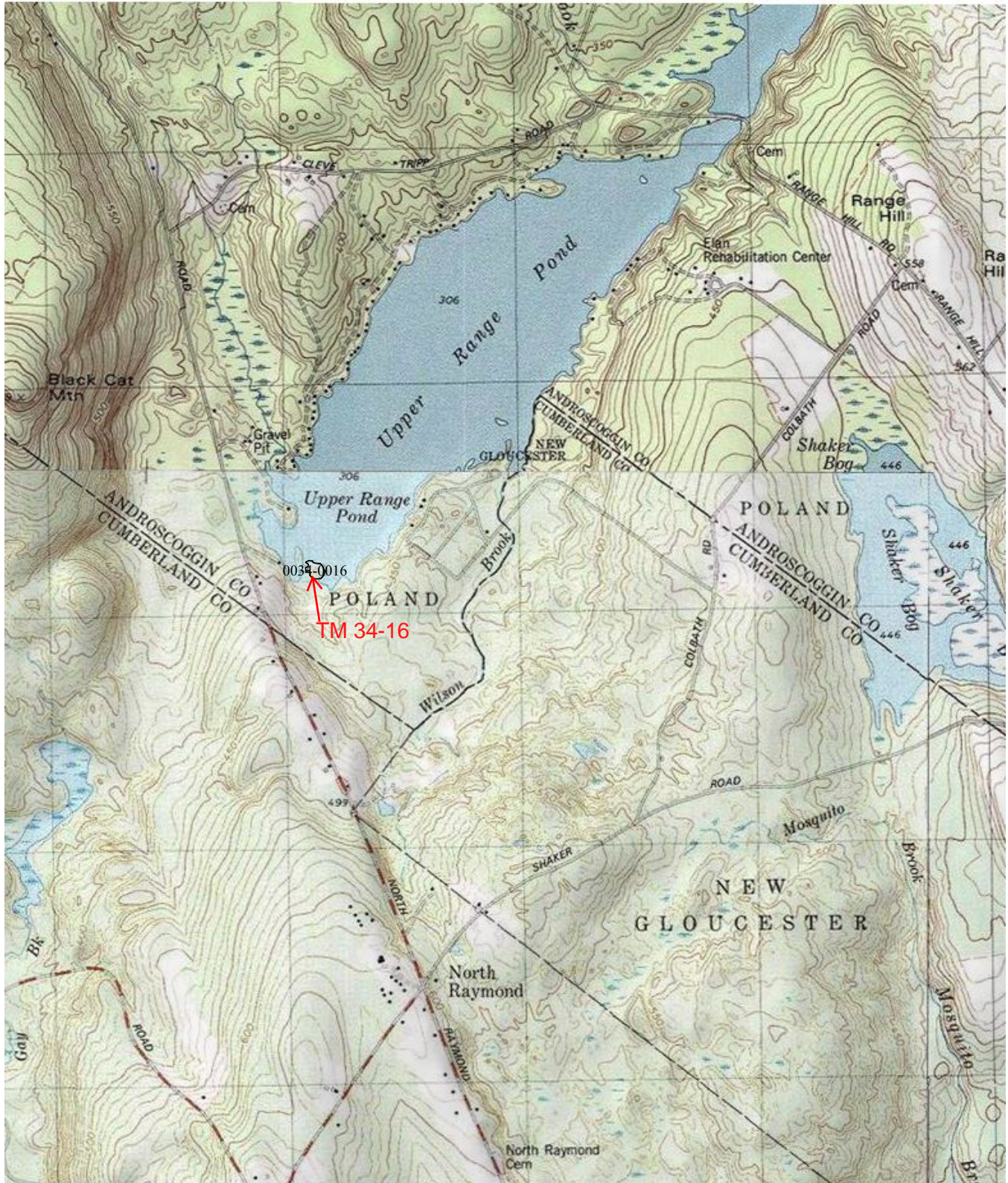
1:6,000

43°59'32.72"N

70°24'7.02"W



LOCATION MAP



Jeanette & William Almy, 23 Nash Lane, Poland, ME 04274

Poland Tax Map 34, Lot 16

Photographs of Area of Proposed Addition



Front and Right Side View of Existing House

Photo Taken by Davis Land Surveying 5/5/2020



Back View of Existing House

Photo Taken by Davis Land Surveying 5/5/2020



Front & Left Side View of Existing House

Photo Taken by Davis Land Surveying 5/5/2020



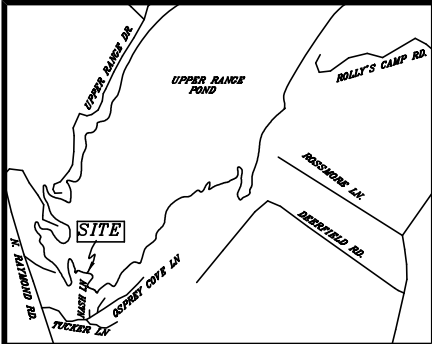
Area of Proposed
Addition

Left Side View of Existing House Showing Trees to be Removed
Photo Taken by Davis Land Surveying 7/1/2020

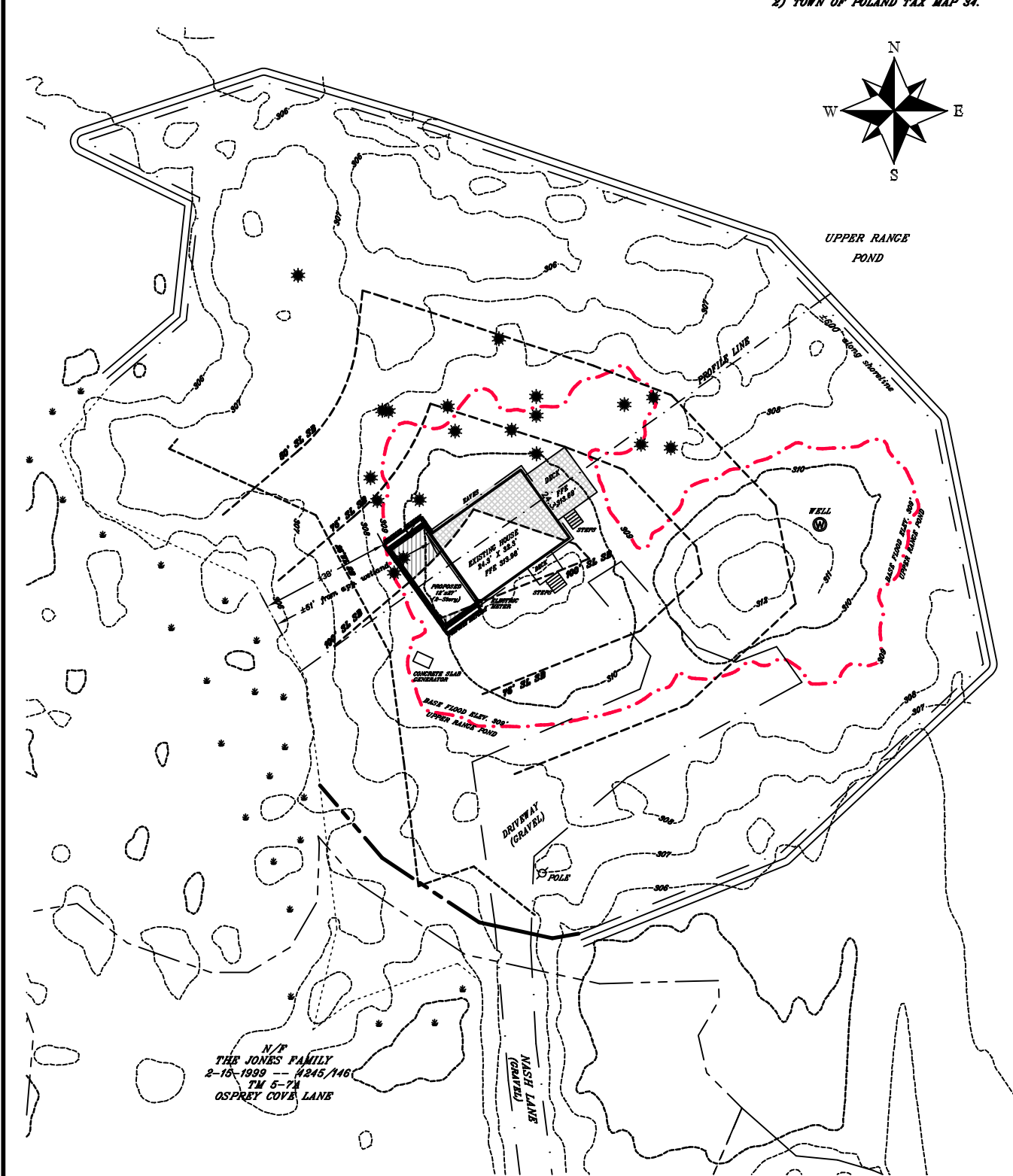


Area of Proposed
Addition

Left Side View of Existing House Showing Trees to be Removed
Photo Taken by Davis Land Surveying 7/1/2020



-- SITE LOCATION --
-- NOT TO SCALE --



REVISIONS:		
NO.	DESCRIPTION:	DATE:

LEGEND

- PROPERTY LINES
- RIGHT OF WAY/ABUTTING LOT LINES
- SHORELAND SETBACKS (AS NOTED)
- WETLAND
- PINE TREE
- UTILITY POLE
- FLOOD ELEVATION 309 FEET
- LIDAR CONTOURS (1' FT INTERVAL)
- SHORELINE (MAY 4, 2020)

NOTES:

- BEARINGS ARE REFERENCED TO MAINE STATE PLANE COORDINATE SYSTEM WEST ZONE (2011) NAD 83 - VERTICAL DATUM NAVD 88.
- DEED REFERENCES ARE MADE TO THE ANDROSCOGGIN COUNTY REGISTRY OF DEEDS
- THE PARCEL IS LOCATED IN THE SHORELAND ZONING DISTRICT.
- THE PARCEL IS LOCATED WITHIN 100-YEAR FLOOD ZONE AS (ELEVATION 309 FEET) AS SHOWN ON THE F.E.M.A. FLOOD INSURANCE RATE MAP COMMUNITY PANEL 23001C0381E, EFFECTIVE DATE 7/8/2013.

REFERENCES:

- MAINE OFFICE OF GIS PARCELS
- TOWN OF POLAND TAX MAP 34.

Calculation Development w/in 75'-100' of Shoreland:		
Development Allowed w/in 75'-100'	1500.0 sq. ft.	
Existing House, Bases, Deck & Steps	590.0 sq. ft.	
Remaining Area Allowed for Development	910.0 sq. ft.	
New Addition w/in 75'-100' of Shoreland	158.9 sq. ft.	
Net Remaining Area Allowed for Development	748.7 sq. ft.	

Existing Impervious Area Calculation/Lot Coverage:	
Existing House w/Overhang	886.3 sq. ft.
Decks & Steps	314.1 sq. ft.
Gravel Driveway	2990.7 sq. ft.
Total	4191.1 sq. ft.

Percentage of Lot Impervious Area Calculation:	
$\frac{4,191.1}{46,290} \times 100 = 9.1\%$	46,290 (GIS)

Proposed Impervious Area Calculation/Lot Coverage:	
Existing House w/Overhang	886.3 sq. ft.
Decks & Steps	314.1 sq. ft.
Gravel Driveway	2990.7 sq. ft.
New Addition	414.0 sq. ft.
Total	4605.1 sq. ft.

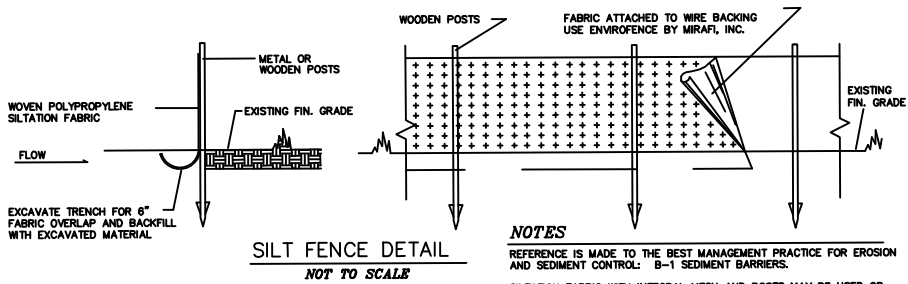
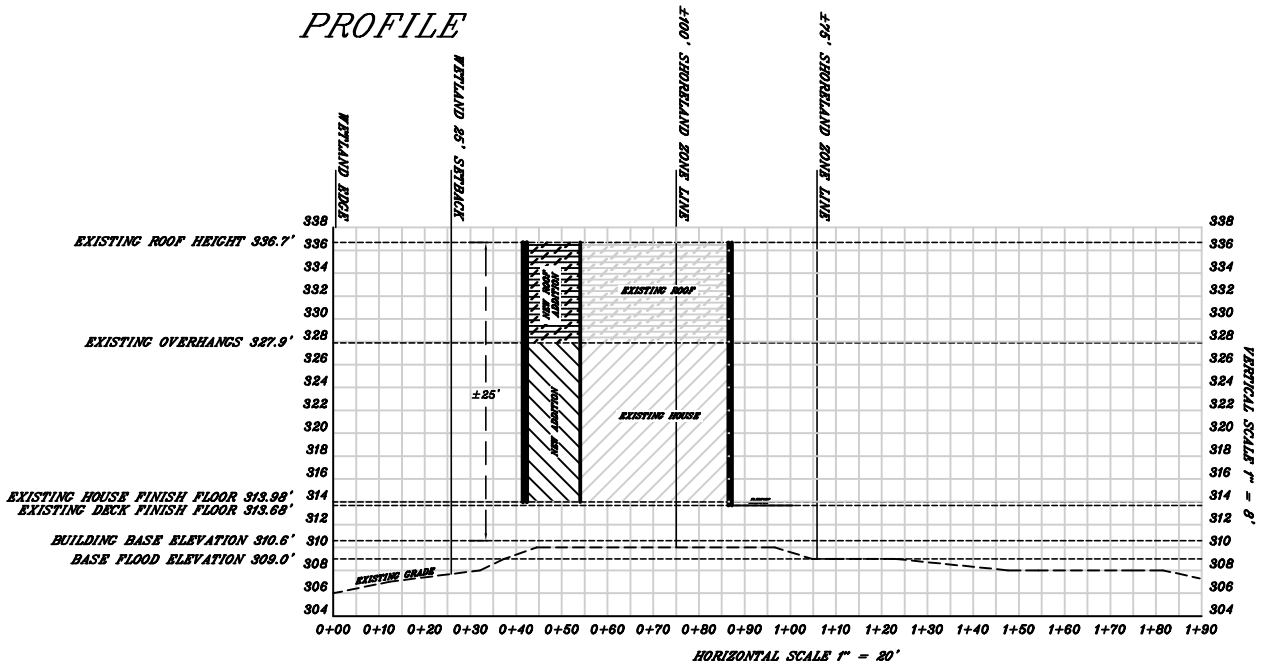
Percentage of Lot Impervious Area Calculation:	
$\frac{4,605.1}{46,290} \times 100 = 9.9\%$	46,290 (GIS)

Zoning: Limited Residential
Chapter 5 - 508.27
Minimum Lot Area: 80,000 sq.ft.
Minimum Road Frontage: 200'
Minimum Shore Frontage: 200'
Maximum Impervious: 15%
Maximum Structure Height: 20/25'

Setbacks:
Front: 20'
Side & Rear: 20'
From HWM: 100'

AREA:
±46,290 sq. ft.
±1 Acre

PROFILE



SILT FENCE DETAIL
NOT TO SCALE

NOTES
REFERENCE IS MADE TO THE BEST MANAGEMENT PRACTICE FOR EROSION AND SEDIMENT CONTROL: 8-1 SEDIMENT BARRIERS.
SILTATION FABRIC WITH INTEGRAL MESH AND POSTS MAY BE USED OR EROSION CONTROL MULCH.

TOWN OF POLAND PLANNING BOARD:	DATE:
CHAIRPERSON:	

RECORDING INFORMATION:	
STATE OF MAINE, ANDROSCOGGIN, ss REGISTRY OF DEEDS	
RECEIVED	20
AT HR	MIN. M. AND RECORDED
IN PLAN BOOK	PAGE
ATTEST:	REGISTER

OWNER OF RECORD:
JEANETTE R. ALMY
7464/326 -- 6-18-2008
23 NASH LANE
TAX MAP 34, LOT 16

REDUCED NOT TO SCALE

CERTIFICATION:

TO THE BEST OF MY KNOWLEDGE, I HAVE USED ORDINARY AND REASONABLE CARE IN THE PREPARATION OF THIS PLAN, AND I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

1) NO WRITTEN REPORT TO DATE
2) NO DEED DESCRIPTION TO DATE

PLAN PREPARED BY: S.A.B.
PLAN CHECKED BY: S.A.B.

THIS PLAN IS NOT VALID UNLESS ENDORSED ABOVE

DAVIS LAND SURVEYING, LLC

MAINE: 64 OLD COUNTY ROAD - OXFORD, MAINE 04270
OFFICE: 990 MINOT AVENUE - AUBURN, MAINE 04210
OFFICE (207) 945-9991 CELL (207) 940-9949
EMAIL: shawn@davislandsurveying.net
WEBSITE: www.davislandsurveying.net

JULY 14, 2020

SHORELAND ZONING APPLICATION

SITE PLAN & PROFILE OF PROPERTY

23 NASH LANE - POLAND, MAINE

WILLIAM & JEANETTE ALMY

23 NASH LANE, POLAND, MAINE 04274

JOB NO.: 20-008
FILE NO.: 403

